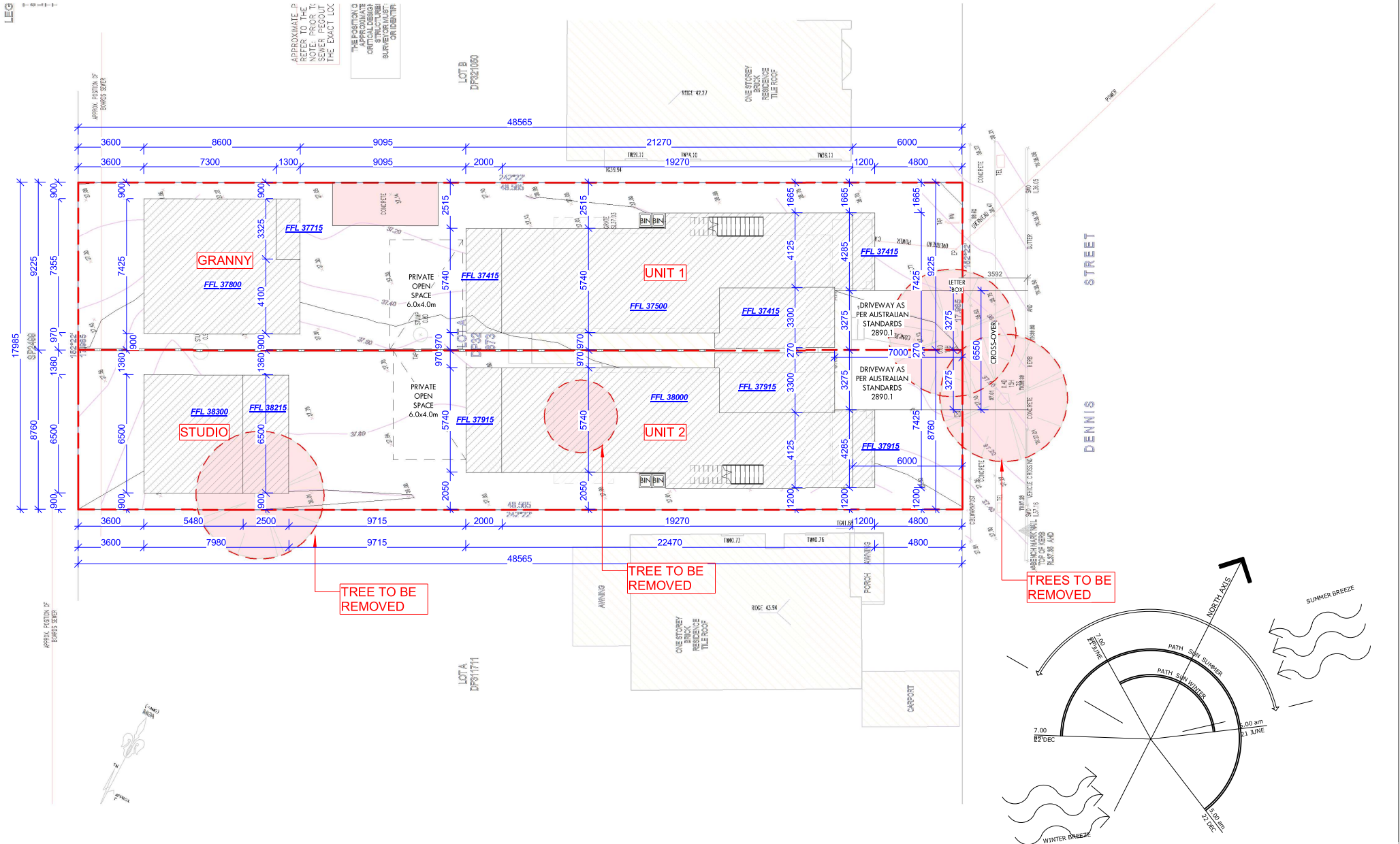


[illegible]

APPROXIMATE POSITION OF SEWER PEGS  
NOTE: PEGS TO BE SET BY SURVEYOR/ALIASY  
THE EXACT LOC

THE POSITION OF APPROXIMATE CONTAMINATED SOILS  
SURVEYOR/ALIASY  
OR IDENTIFY



# 1 SITE PLAN

1 : 200

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AS 1288 GLASS IN BUILDINGS - SELECTION AND INSTALLATION

AS 1428 DESIGN FOR ACCESS AND MOBILITY

AS 1687 FIBED PLATFORMS, WALKWAYS, STAIRWAYS AND LADDERS

AS 1686 MECHANICAL VENTILATION AND AIR-CONDITIONING

AS 1674 AUTOMATIC FIRE DETECTION AND ALARM SYSTEM

AS 1656 INSTALLATION OF FIRE COORDINATES

AS 2047 WINDOWS IN BUILDINGS - SELECTION AND INSTALLATION

AS 2255 EMERGENCY ESCAPE LIGHTING AND EXIT SIGNS FOR BUILDINGS

AS 2444 PRECASTABLE FIRE EXTERIORS

AS 3502 MECHANICAL PLUMBING AND DRAINAGE

AS 3606 CONCRETE STRUCTURES

AS 3710 MASONRY STRUCTURES

AS 3740 WATERPROOFING OF DOMESTIC WET AREAS

AS 4110 STEEL STRUCTURES

AS 4254 FACTORY FOR AIR-HANDLING SYSTEMS IN BUILDINGS

AS 3810 FORMWORK FOR CONCRETE

OTHER ALTERNATIVE SOLUTION

NORTH

TAG SYMBOLS

WB WINDOW TAG

DP DOOR TAG

WALL TAG

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Property Address: AL-DP921080, 35 Dennis Street, Lakemba, VIC, 2195

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PROJECT DETAILS  
DEMOLITION OF EXISTING DWELLING AND CONSTRUCTION OF NEW SEMI-ATTACHED DUAL OCCUPANCY DOUBLE STOREY WITH GRANNY AND STUDIO AT REAR

PROJECT ADDRESS  
**35 DENNIS STREET LAKEMBA 2195 NSW**

0 2.0 m 5.0 m 10.0 m

SCALE: 1:200

**DA PACKAGE**

DRAWING TITLE  
**SITE PLAN**

SCALE  
**1 : 200**

DATE  
**23/06/2025 12:35:04 PM**

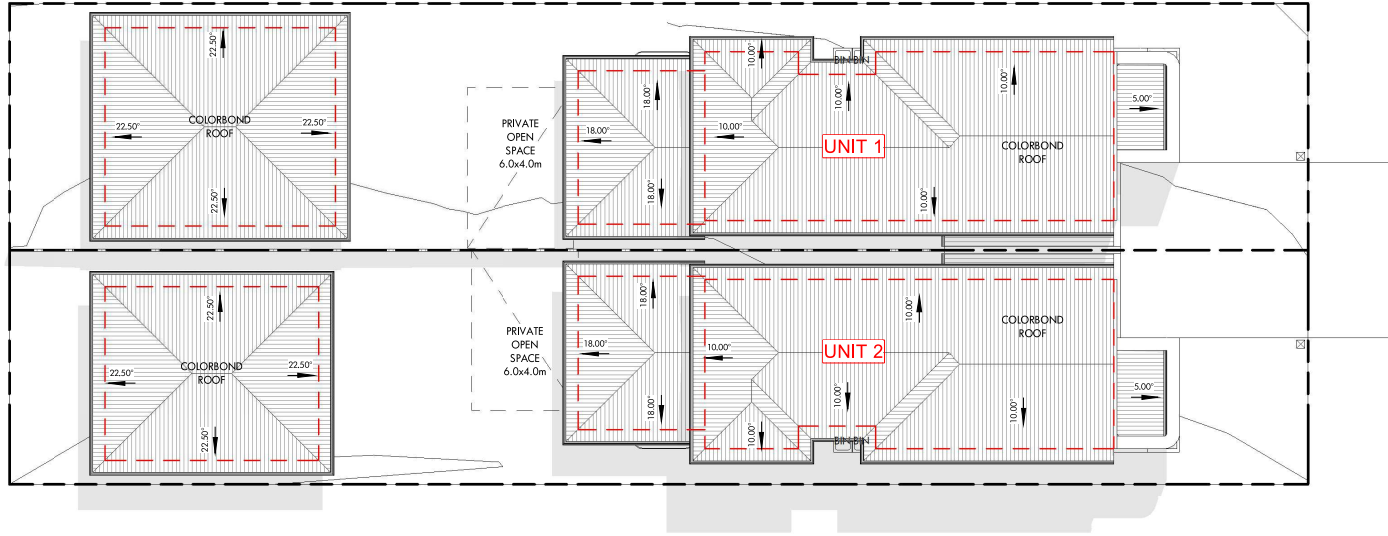
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**AI**

DRAWN  
**RV**

DRAWING NO.  
**2458**

PROJ. STAGE  
**DA**

PAGE NUMBER  
**DA - 01**



# 1 ROOF PLAN 1 : 200

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AS 1687 FIXED PLATFORMS, WALKWAYS, STAIRWAYS AND LADDERS  
AS 1686 MECHANICAL VENTILATION AND AIR-CONDITIONING  
AS 1678 AUTOMATIC FIRE DETECTION AND ALARM SYSTEM  
AS 1698 INSTALLATION OF TRIPPER COORDINATES  
AS 2047 WINDOWS IN BUILDINGS - SELECTION AND INSTALLATION  
AS 2205 EMERGENCY ESCAPE LIGHTING AND EXIT SIGNS FOR BUILDINGS  
AS 2444 PRETREATABLE FIRE EXTINGUISHERS  
AS 2502 MECHANICAL PLUMBING AND DRAINAGE  
AS 3606 CONCRETE STRUCTURES  
AS 3700 MASONRY STRUCTURES  
AS 3740 WATERPROOFING OF DOMESTIC WET AREAS  
AS 4106 STEEL STRUCTURES  
AS 4254 FACTORY FOR AB-HANDLING SYSTEMS IN BUILDINGS  
AS 3810 FORMWORK FOR CONCRETE  
OTHER ALTERNATIVE SOLUTION

NORTH  
  
TAG SYMBOLS  
WB WINDOW TAG  
DF DOOR TAG  
WALL TAG  
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PROJECT DETAIL  
**DEMOLITION OF EXISTING DWELLING AND CONSTRUCTION OF NEW SEMI - ATTACHED DUAL OCCUPANCY DOUBLE STOREY WITH GRANNY AND STUDIO AT REAR**

PROJECT ADDRESS  
**35 DENNIS STREET LAKEMBA 2195 NSW**

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DRAWING TITLE		DATE	
ROOF PLAN		23/06/2025 12:35:06 PM	
SCALE	1 : 200	CHECKED	AI
DRAWN	RV	PROJ. STAGE	DA
DRAWING NO.	2458	PAGE NUMBER	DA - 02



APPROXIMATE POSITION  
REFER TO THE DBY  
NOTE: PRIOR TO ANY  
SEWER REGROUT MUST  
THE EXACT LOCATION

THE POSITION OF SITE  
FENCE LINE MUST ONLY  
BE USED FOR THE  
STRUCTURES IN THE  
SURVEYOR MUST CARE  
OR IDENTIFICATION

LOT B  
DP921050

LOT A  
DP921050  
373.4m<sup>2</sup>

ONE STOREY  
BRICK  
RESIDENCE  
TILE ROOF

ONE STOREY  
BRICK  
RESIDENCE  
TILE ROOF

STREET  
DENNIS STREET

NOTE: ELEMENTS TO BE DEMOLISHED/REMOVED ARE SHOWN IN RED.

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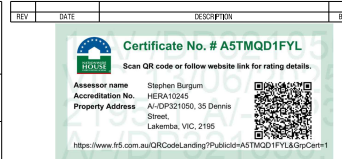


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AS 1670 AUTOMATIC FIRE DETECTION AND ALARM SYSTEM  
AS 1686 INSTALLATION OF FIRE COORDINATES  
AS 2047 WINDOWS IN BUILDINGS - SELECTION AND INSTALLATION  
AS 2205 EMERGENCY ESCAPE LIGHTING AND EXIT SIGNS FOR BUILDINGS  
AS 2444 PORTABLE FIRE EXTINGUISHERS  
AS 3502 NATURAL DRAINAGE AND DRAINAGE  
AS 3602 CONCRETE STRUCTURES  
AS 3710 MASONRY STRUCTURES  
AS 3740 WATERPROOFING OF DOMESTIC WET AREAS  
AS 4110 STEEL STRUCTURES  
AS 4254 FACTORY FOR AIR-HANDLING SYSTEMS IN BUILDINGS  
AS 3810 FORMWORK FOR CONCRETE  
OTHER ALTERNATIVE SOLUTION

NORTH  
TAG SYMBOLS  
WB WINDOW TAG  
DF DOOR TAG  
WALL TAG  
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PROJECT DETAILS  
DEMOLITION OF EXISTING DWELLING AND CONSTRUCTION OF NEW  
SEMI-ATTACHED DUAL OCCUPANCY DOUBLE STOREY WITH GRANNY  
AND STUDIO AT REAR

PROJECT ADDRESS  
35 DENNIS STREET LAKEMBA 2195 NSW

0 1.5 m 3.8 m 7.5 m  
SCALE: 1:150

DA PACKAGE

DRAWING TITLE  
DEMOLITION PLAN  
SCALE  
1 : 150  
DATE  
23/06/2025 12:35:06 PM  
DRAWN  
RV  
CHECKED  
AI  
PROJECT STAGE  
DA  
PAGE NUMBER  
DA - 03



# 1 SUBDIVISION PLAN

1 : 200

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2170, NSW, Australia.  
P: 1300 326 322  
info@ecofactor.com.au  
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AS 1428 DESIGN FOR ACCESS AND MOBILITY  
AS 1687 FIBRE PLATFORMS, WALKWAYS, STAIRWAYS AND LADDERS  
AS 1686 MECHANICAL VENTILATION AND AIR-CONDITIONING  
AS 1676 AUTOMATIC FIRE DETECTION AND ALARM SYSTEM  
AS 1698 INSTALLATION OF FIRE COORDINATES  
AS 2047 WINDOWS IN BUILDINGS - SELECTION AND INSTALLATION  
AS 2285 EMERGENCY ESCAPE LIGHTING AND EXIT SIGNS FOR BUILDINGS  
AS 2444 PORTABLE FIRE EXTINGUISHERS  
AS 3020 MECHANICAL PLUMBING AND DRAINAGE  
AS 3032 CONCRETE STRUCTURES  
AS 3120 MACHINERY STRUCTURES  
AS 3740 WATERPROOFING OF DOMESTIC WET AREAS  
AS 4105 STEEL STRUCTURES  
AS 4234 FACTORY FOR ABRAISING SYSTEMS IN BUILDINGS  
AS 3810 FORMWORK FOR CONCRETE  
OTHER A TERNATIVE SOLUTION

NORTH  
TAG SYMBOLS  
WB WINDOW TAG  
DP DOOR TAG  
WALL TAG  
DOOR TAG  
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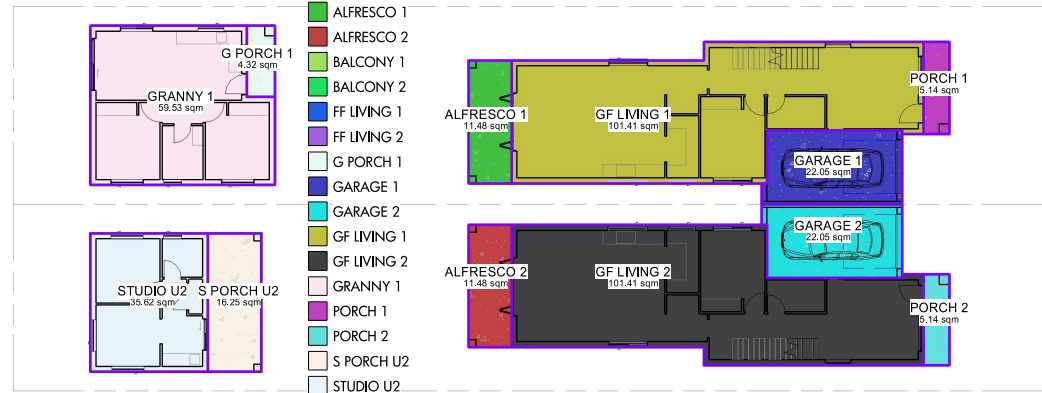


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PROJECT DETAILS  
DEMOLITION OF EXISTING DWELLING AND CONSTRUCTION OF NEW SEMI-ATTACHED DUAL OCCUPANCY DOUBLE STOREY WITH GRANNY AND STUDIO AT REAR  
PROJECT ADDRESS  
35 DENNIS STREET LAKEMBA 2195 NSW

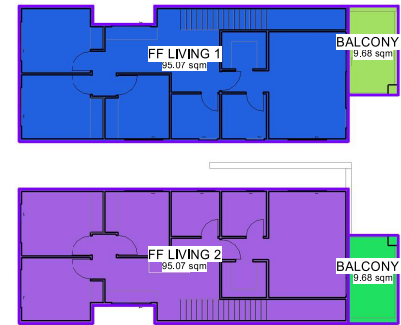
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PROJ. STAGE  
DA  
PAGE NUMBER  
2458  
DA - 04



1 GROUND F. BUILDERS  
1 : 250

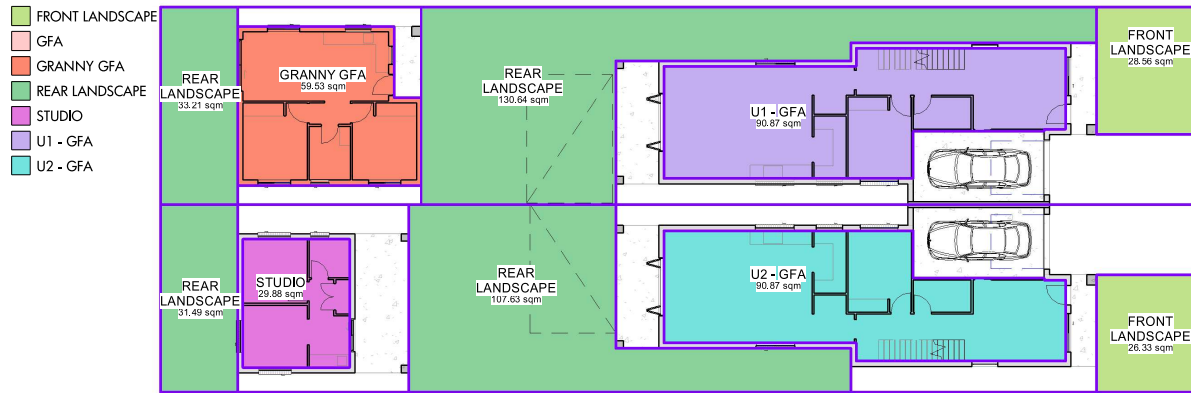


2 FIRST F. BUILDERS  
1 : 250

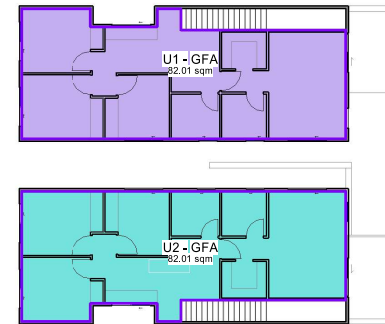
AREAS FOR BUILDERS		
Area	sq.m	sqrs
ALFRESCO 1	11.48	1.24
ALFRESCO 2	11.48	1.24
BALCONY 1	9.68	1.04
BALCONY 2	9.68	1.04
FF LIVING 1	95.07	10.24
FF LIVING 2	95.07	10.24
G PORCH 1	4.32	0.47
GARAGE 1	22.05	2.38
GARAGE 2	22.05	2.38
GF LIVING 1	101.41	10.93
GF LIVING 2	101.41	10.93
GRANNY 1	59.53	6.42
PORCH 1	5.14	0.55
PORCH 2	5.14	0.55
S PORCH U2	16.25	1.75
STUDIO U2	35.62	3.84
TOTAL	605.39	65.24

AREAS FOR BUILDERS UNIT 2		
Area	sq.m	sqrs
ALFRESCO 2	11.48	1.24
BALCONY 2	9.68	1.04
FF LIVING 2	95.07	10.24
GARAGE 2	22.05	2.38
GF LIVING 2	101.41	10.93
PORCH 2	5.14	0.55
S PORCH U2	16.25	1.75
STUDIO U2	35.62	3.84
TOTAL	296.70	31.97

AREAS FOR BUILDERS UNIT 1		
Area	sq.m	sqrs
ALFRESCO 1	11.48	1.24
BALCONY 1	9.68	1.04
FF LIVING 1	95.07	10.24
G PORCH 1	4.32	0.47
GARAGE 1	22.05	2.38
GF LIVING 1	101.41	10.93
GRANNY 1	59.53	6.42
PORCH 1	5.14	0.55
TOTAL	308.69	33.26



3 GROUND F. COUNCIL  
1 : 250



4 FIRST F. COUNCIL  
1 : 250

AREAS CALCULATION		
Level	Name	Area
U2 GROUND FLOOR	GRANNY GFA	59.53 m²
U2 GROUND FLOOR	STUDIO	29.88 m²
U2 FIRST FLOOR	U1 - GFA	82.01 m²
U2 GROUND FLOOR	U1 - GFA	90.87 m²
U2 FIRST FLOOR	U2 - GFA	82.01 m²
U2 GROUND FLOOR	U2 - GFA	90.87 m²
TOTAL		435.16 m²

LANDSCAPE AREAS	
FRONT LANDSCAPE	54.89 m²
REAR LANDSCAPE	302.98 m²
TOTAL LANDSCAPE	357.86 m²
SITE : 873.4m²	

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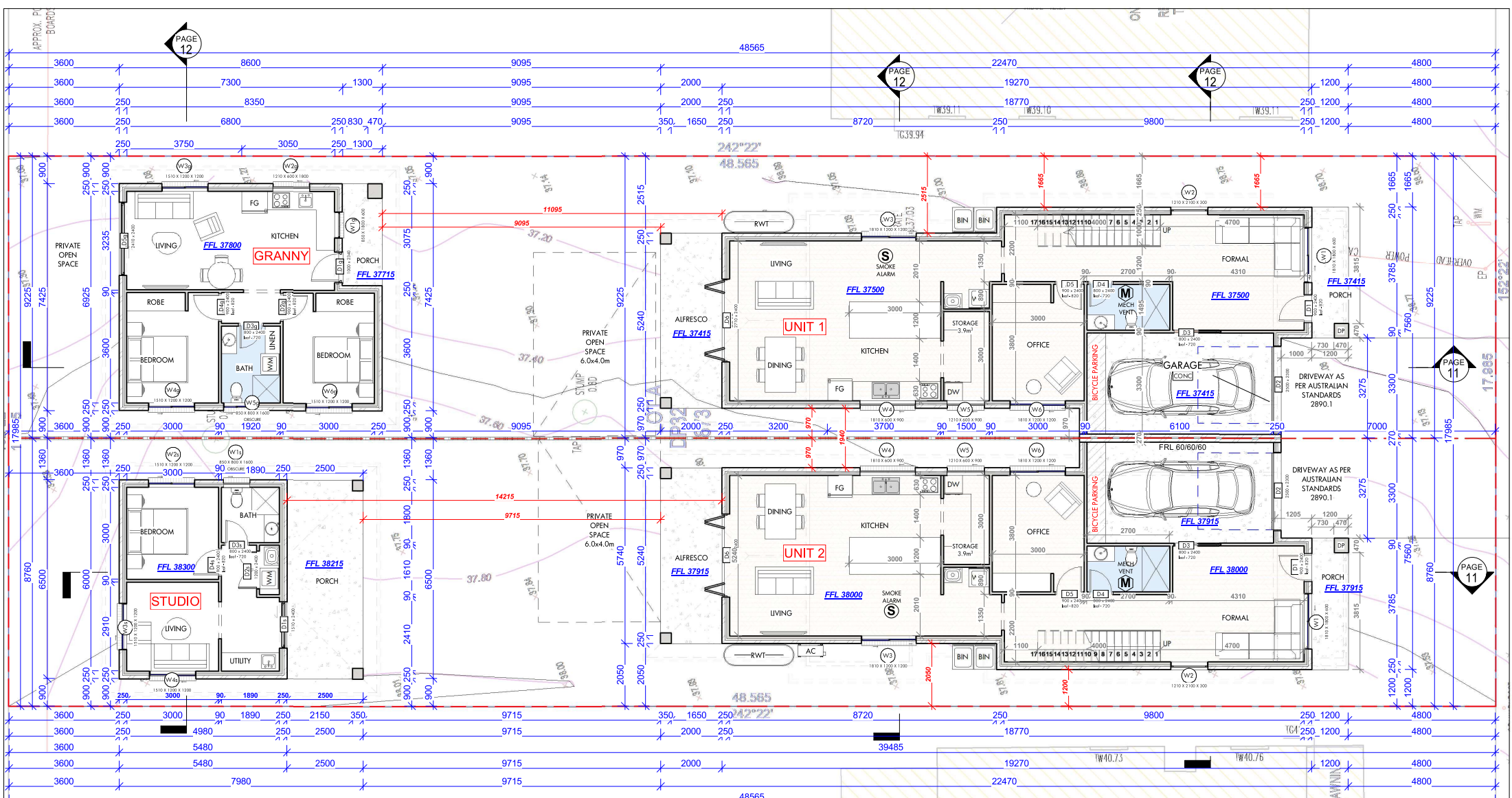
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AS 2047 WINDOWS IN BUILDINGS - SELECTION AND INSTALLATION  
AS 2205 EMERGENCY ESCAPE LIGHTING AND EXIT SIGNS FOR BUILDINGS  
AS 2444 PROBABLE FIRE EXTINGUISHERS  
AS 3502 NATIONAL PLUMBING AND DRAINAGE  
AS 3606 CONCRETE STRUCTURES  
AS 3700 MASONRY STRUCTURES  
AS 3740 WATERPROOFING OF DOMESTIC WET AREAS  
AS 4110 STEEL STRUCTURES  
AS 4254 FACTORY FOR AIR-HANDLING SYSTEMS IN BUILDINGS  
AS 3810 FORMWORK FOR CONCRETE  
OTHER ALTERNATIVE SOLUTIONS

NORTH  
TAG SYMBOLS  
WB WINDOW TAG  
DF DOOR TAG  
WALL TAG  
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DEMOLITION OF EXISTING DWELLING AND CONSTRUCTION OF NEW SEMI - ATTACHED DUAL OCCUPANCY DOUBLE STOREY WITH GRANNY AND STUDIO AT REAR  
PROJECT ADDRESS  
35 DENNIS STREET LAKEMBA 2195 NSW

DA PACKAGE  
DRAWING TITLE  
AREAS CALCULATION  
SCALE  
1 : 250  
DATE  
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AI  
DRAWING NO.  
2458  
PROJ. STAGE  
DA  
PAGE NUMBER  
DA - 05



# 1 GROUND FLOOR

1 : 120

Minimum side s/b : (building height-4.5m)/4 + 0.9m for building height >4.5m-8.5m

**eco. factor** Pty. Ltd  
SUITE 1, LEVEL 2,  
215-219 GEORGE ST., LIVERPOOL  
2170 NSW, Australia  
P. 1300 326 322  
info@ecofactor.com.au  
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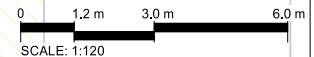
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AS 1687 FIXED PLATFORMS, WALKWAYS, STAIRWAYS AND LADDERS  
AS 1688 MECHANICAL VENTILATION AND AIR-CONDITIONING  
AS 1670 AUTOMATIC FIRE DETECTION AND ALARM SYSTEM  
AS 1698 INSTALLATION OF FIRE EXTINGUISHERS  
AS 2047 WINDOWS IN BUILDINGS - SELECTION AND INSTALLATION  
AS 2205 EMERGENCY ESCAPE LIGHTING AND EXIT SIGNS FOR BUILDINGS  
AS 2444 FIRE EXTINGUISHERS  
AS 2500 NATIONAL FIRE ENGINEERING  
AS 3006 CONCRETE STRUCTURES  
AS 3100 MASONRY STRUCTURES  
AS 3740 WATERPROOFING OF DOMESTIC WET AREAS  
AS 4100 STEEL STRUCTURES  
AS 4204 FACTORY FOR AIR-HANDLING SYSTEMS IN BUILDINGS  
AS 3010 FORMWORK FOR CONCRETE  
OTHERS / TERNATIVE SOLUTION

**TAG SYMBOLS**  
WB WINDOW TAG  
DF DOOR TAG  
WALL TAG  
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Accreditation No: HERRA0245  
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**PROJECT DETAILS**  
DEMOLITION OF EXISTING DWELLING AND CONSTRUCTION OF NEW SEMI-ATTACHED DUAL OCCUPANCY DOUBLE STOREY WITH GRANNY AND STUDIO AT REAR  
**PROJECT ADDRESS**  
35 DENNIS STREET LAKEMBA 2195 NSW



**DA PACKAGE**  
**GROUND FLOOR PLAN**  
SCALE: 1 : 120  
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DRAWN: RV  
CHECKED: AI  
DRAWING NO: 2458  
PROJ. STAGE: DA  
PAGE NUMBER: DA - 06



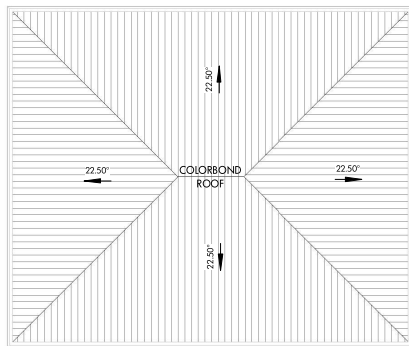
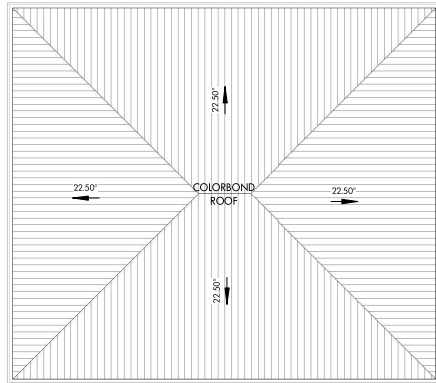
# FIRST FLOOR

1 : 120

- 1) MINIMUM 20 MM GAP MAINTAINED BETWEEN INSULATION AND SARKING.
- 2) EAVE VENTILATION OPENING IN ACCORDANCE WITH TABLE 10.8.3.

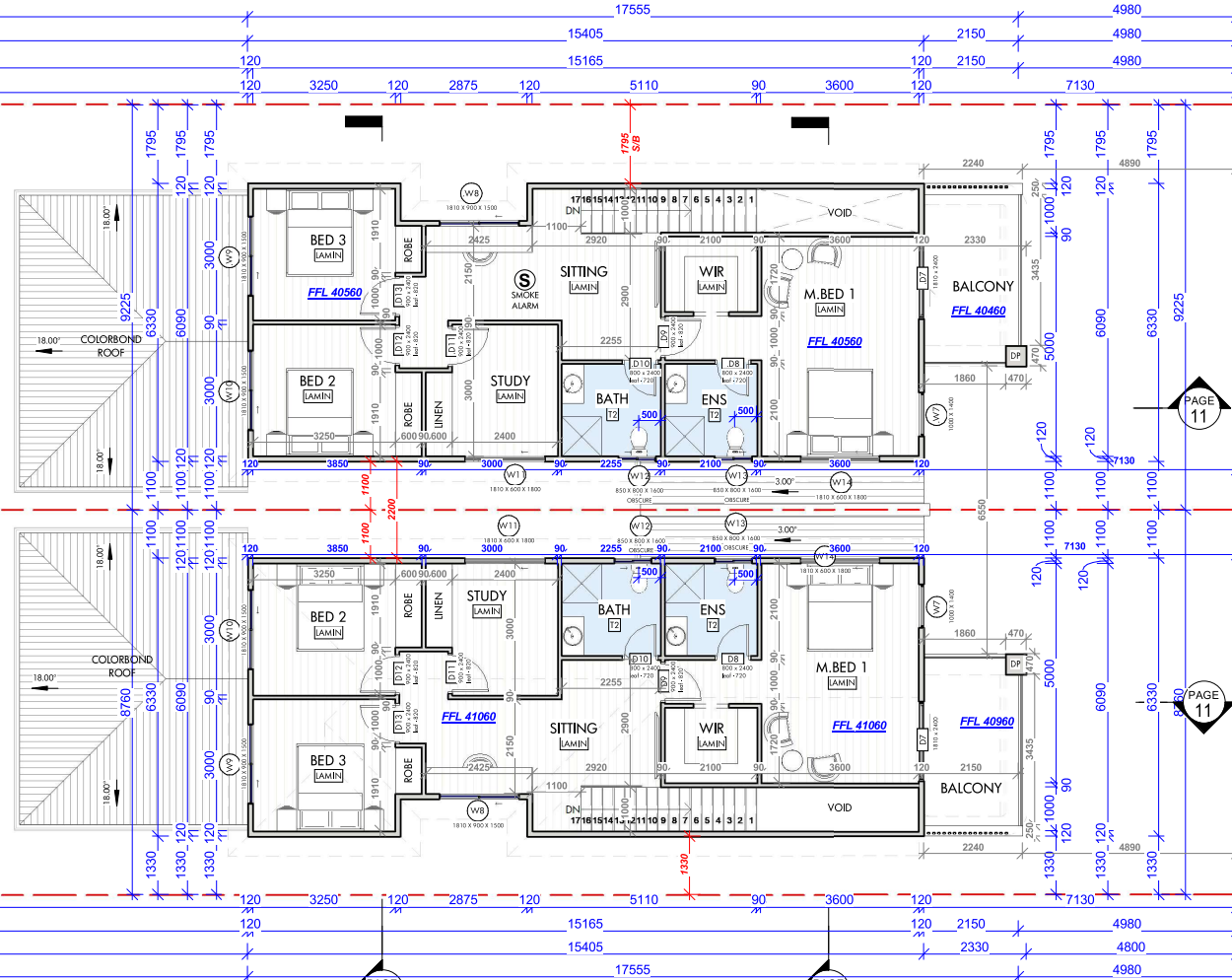
SAFETY OVERFLOW LINED WITH MEMBRANE AS PER AS 3500.3 & 4654-2012

CONC  
LAMIN  
T1  
T2  
T3



UNIT 1

UNIT 2



PAGE 12

0 1.2 m 3.0 m 6.0 m  
SCALE: 1:120

PAGE 12

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AS 1656 INSTALLATION OF TRIPPER COORDINATES  
AS 2047 WINDOWS IN BUILDINGS - SELECTION AND INSTALLATION  
AS 2255 EMERGENCY ESCAPE LIGHTING AND EXIT SIGNS FOR BUILDINGS  
AS 2444 PORTABLE FIRE EXTINGUISHERS  
AS 3502 NATIONAL PLUMBING AND DRAINAGE  
AS 3606 CONCRETE STRUCTURES  
AS 3710 MASONRY STRUCTURES  
AS 3740 WATERPROOFING OF DOMESTIC WET AREAS  
AS 4110 STEEL STRUCTURES  
AS 4254 FACTORS FOR AIR-HANDLING SYSTEMS IN BUILDINGS  
AS 3610 FORMWORK FOR CONCRETE  
OTHER ALTERNATIVE SOLUTIONS

NORTH



TAG SYMBOLS

W8 WINDOW TAG  
D8 DOOR TAG  
WALL TAG  
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Accreditation No: ACPD21050, 35 Dennis Street, Lakemba, VIC, 2195  
Property Address: 35 DENNIS STREET LAKEMBA 2195 NSW  
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PROJECT DETAILS  
DEMOLITION OF EXISTING DWELLING AND CONSTRUCTION OF NEW SEMI-ATTACHED DUAL OCCUPANCY DOUBLE STOREY WITH GRANNY AND STUDIO AT REAR

PROJECT ADDRESS  
35 DENNIS STREET LAKEMBA 2195 NSW

DA PACKAGE

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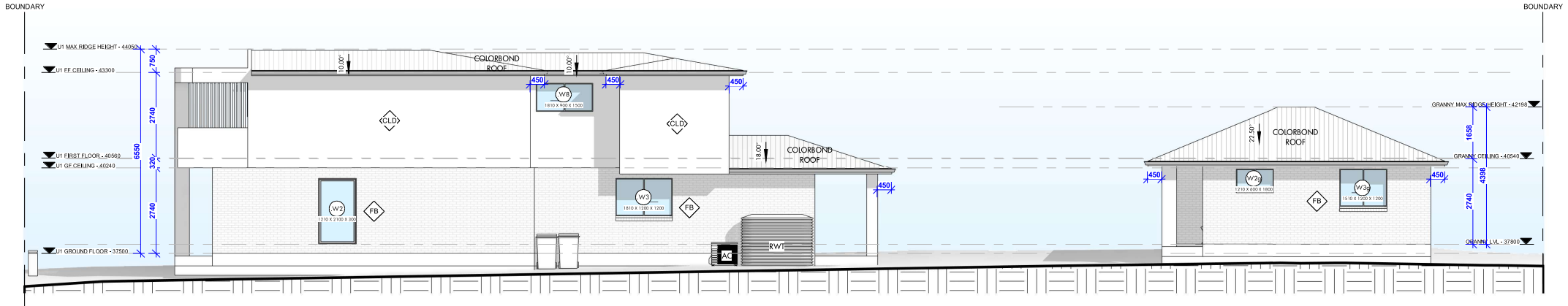
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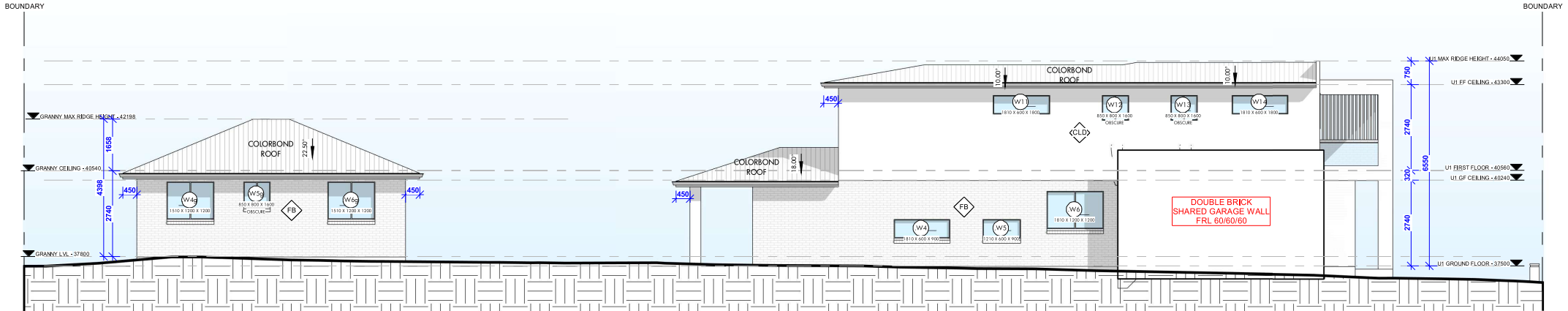
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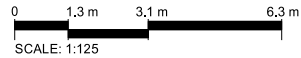
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1 NORTH WEST - UNIT 1  
1 : 125



2 SOUTH EAST - UNIT 1  
1 : 125



## DA PACKAGE

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AS 1428 DESIGN FOR ACCESS AND MOBILITY  
AS 1687 FIXED PLATFORMS, WALKWAYS, STAIRWAYS AND LADDERS  
AS 1686 MECHANICAL VENTILATION AND AIR-CONDITIONING  
AS 1674 AUTOMATIC FIRE DETECTION AND ALARM SYSTEM  
AS 1656 INSTALLATION OF TRIPPER COORDINATES  
AS 2047 WINDOWS IN BUILDINGS - SELECTION AND INSTALLATION  
AS 2205 EMERGENCY ESCAPE LIGHTING AND EXIT SIGNS FOR BUILDINGS  
AS 2444 PORTABLE FIRE EXTINGUISHERS  
AS 3502 MATERIAL PLUMBING AND DRAINAGE  
AS 3606 CONCRETE STRUCTURES  
AS 3700 MASONRY STRUCTURES  
AS 3740 WATERPROOFING OF DOMESTIC WET AREAS  
AS 4110 STEEL STRUCTURES  
AS 4254 FACTORY FOR AIR-HANDLING SYSTEMS IN BUILDINGS  
AS 3810 FORMWORK FOR CONCRETE  
OTHER ALTERNATIVE SOLUTION

NORTH

#### TAG SYMBOLS

WB WINDOW TAG	DF DOOR TAG	WALL TAG

REV	DATE	DESCRIPTION	BY

**Certificate No. #ASTMQD1FYI**

Assessor name: Stephen Burgin  
Accreditation No. HERA10245  
Property Address: AI-DP521050, 35 Dennis Street, Lakemba, VIC, 2195

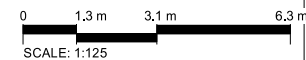
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PROJECT DETAILS  
DEMOLITION OF EXISTING DWELLING AND CONSTRUCTION OF NEW SEMI-ATTACHED DUAL OCCUPANCY DOUBLE STOREY WITH GRANNY AND STUDIO AT REAR

PROJECT ADDRESS  
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## DA PACKAGE

DRAWING TITLE

**SIDE ELEVATIONS - UNIT 2**

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- AS 1428 DESIGN FOR ACCESSIBILITY AND MOBILITY
- AS 1657 FIXED PLATFORMS, WALKWAYS, STAIRWAYS AND LADDERS
- AS 1668 MECHANICAL VENTILATION AND AIR-CONDITIONING
- AS 1670 AUTOMATIC FIRE DETECTION AND ALARM SYSTEMS
- AS 1909 INSTALLATION OF TIMBER DOORS
- AS 2047 WINDOWS IN BUILDINGS - SELECTION AND INSTALLATION
- AS 2296 ESCAPE ESCORT LIGHTING AND EXIT SIGNS FOR BUILDINGS
- AS 2444 PROBABLE FIRE TEST METHODS
- AS 3500 NATIONAL PLUMBING AND DRAINAGE
- AS 3600 CONCRETE STRUCTURES
- AS 3700 MASONRY STRUCTURES
- AS 3740 WATERPROOFING OF DOMESTIC WET AREAS
- AS 4100 STEEL STRUCTURES
- AS 4234 ELECTRICAL WIRING-BUSBARING SYSTEMS IN BUILDINGS
- AS 3610 FORMWORK FOR CONCRETE

OTHER ALTERNATIVE SOLUTION.

## STANDARDS

NORTH

TAG SYMBOLS



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**HERA**  
HERA10245

## Certificate No. # A5TMQD1FYL

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**Assessor name** Stephen Burzum

**Accreditation No.** HERA10245

**Property Address** A/-DP321050, 35 Dennis Street,  
Lakemba, VIC, 2195

**Assessor name** Stephen Burzum

**Accreditation No.** HERA10245

**Property Address** A/-DP321050, 35 Dennis Street,  
Lakemba, VIC, 2195

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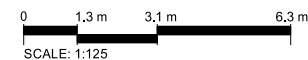
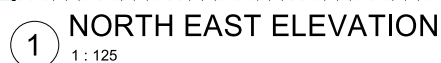
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BILDAID CONSULTING SERVICES

PROJECT DETAIL

DEMOLITION OF EXISTING DWELLING AND CONSTRUCTION OF NEW SEMI - ATTACHED DUAL OCCUPANCY DOUBLE STOREY WITH GRANNY AND STUDIO AT REAR

PROJECT ADDRESS  
35 DENNIS STREET LAKEMBA 2195 NSW





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FRONT AND REAR ELEVATIONS

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NORTH
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**TAG SYMBOLS**

	WALL TAG
	WINDOW TAG
	DOOR TAG

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DATE: 01/15/2014

REV	DATE	DESCRIPTION



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**Property Address** A/-DP321050, 35 Dennis Street,  
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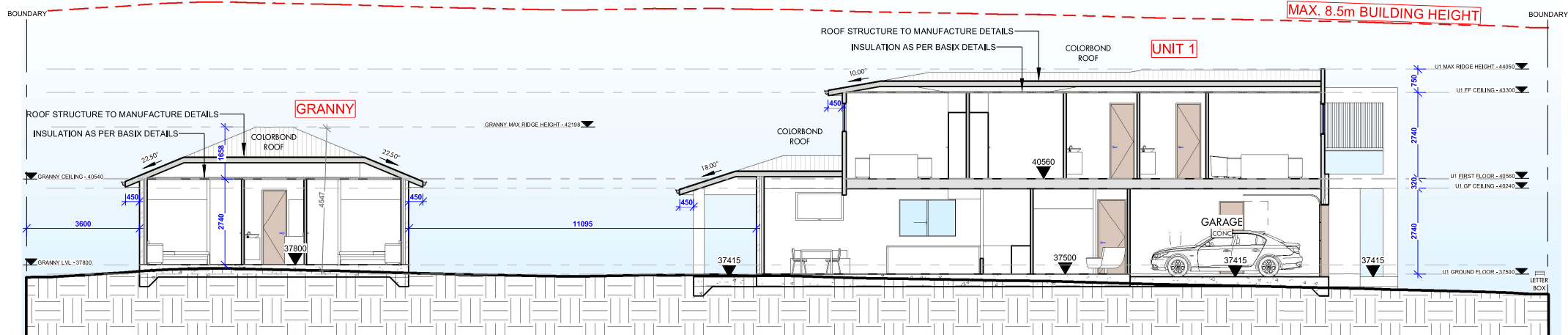
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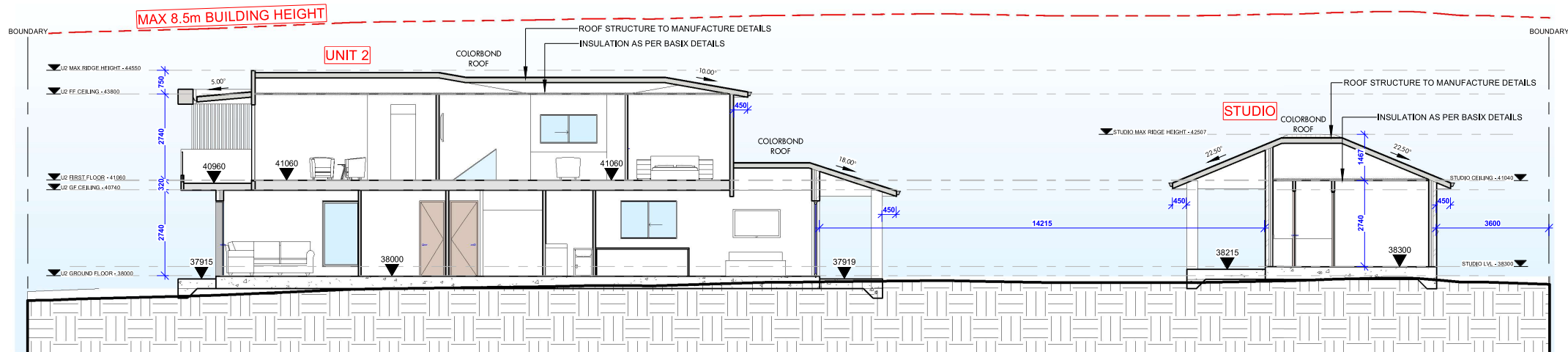
PROJECT DETAIL

DEMOLITION OF EXISTING DWELLING AND CONSTRUCTION OF NEW  
SEMI - ATTACHED DUAL OCCUPANCY DOUBLE STOREY WITH GRANNY  
AND STUDIO AT REAR

PROJECT ADDRESS  
35 DENNIS STREET LAKEMBA 2195 NSW



1 LONG SECTION - UNIT 1  
1 : 125



2 LONG SECTION - UNIT 2  
1 : 125

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## DA PACKAGE

### DRAWING TITLE LONG SECTIONS

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AS 1670 AUTOMATIC FIRE DETECTION AND ALARM SYSTEM  
AS 1606 INSTALLATION OF FIBER COORDINATES  
AS 2047 WINDOWS IN BUILDINGS - SELECTION AND INSTALLATION  
AS 2205 EMERGENCY ESCAPE LIGHTING AND EXIT SIGNS FOR BUILDINGS  
AS 2444 PORTABLE FIRE EXTINGUISHERS  
AS 3502 NATURAL DRAINAGE AND DRAINAGE  
AS 3606 CONCRETE STRUCTURES  
AS 3710 MASONRY STRUCTURES  
AS 3740 WATERPROOFING OF DOMESTIC WET AREAS  
AS 4110 STEEL STRUCTURES  
AS 4254 DUCTWORK FOR AIR-HANDLING SYSTEMS IN BUILDINGS  
AS 3810 FORMWORK FOR CONCRETE  
OTHER ALTERNATIVE SOLUTIONS

NORTH

#### TAG SYMBOLS

WB WINDOW TAG	DF DOOR TAG	WALL TAG
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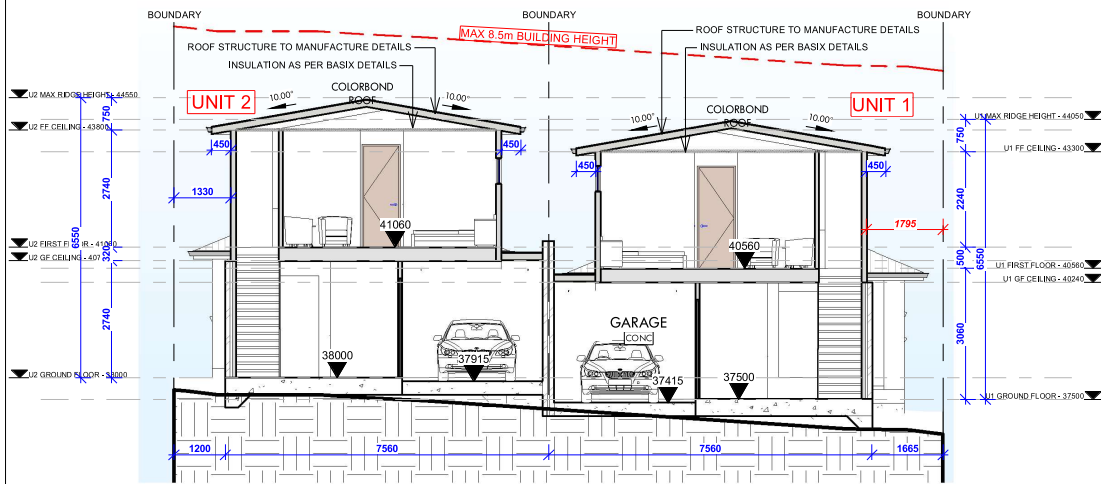
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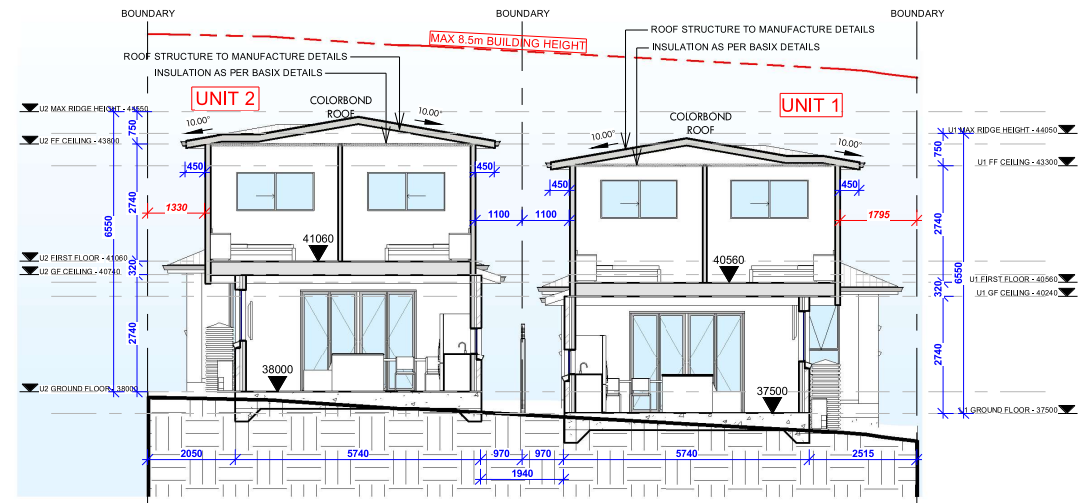
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PROJECT DETAIL  
DEMOLITION OF EXISTING DWELLING AND CONSTRUCTION OF NEW SEMI- ATTACHED DUAL OCCUPANCY DOUBLE STOREY WITH GRANNY AND STUDIO AT REAR

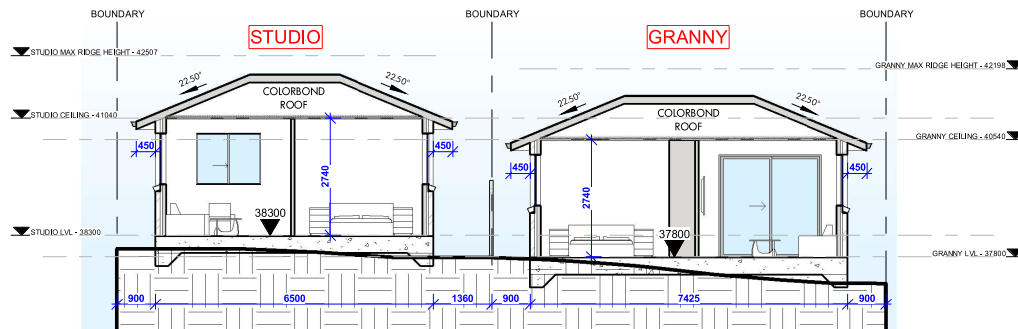
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35 DENNIS STREET LAKEMBA 2195 NSW



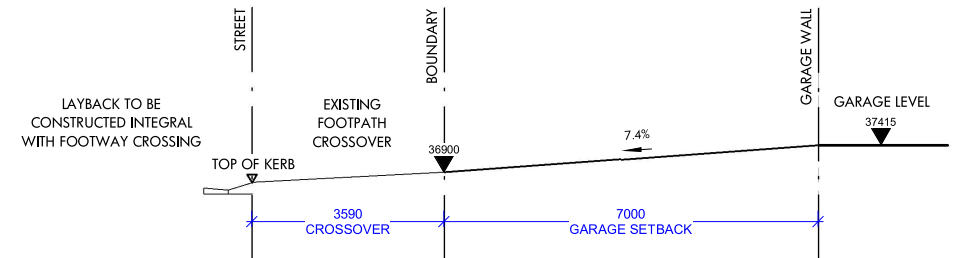
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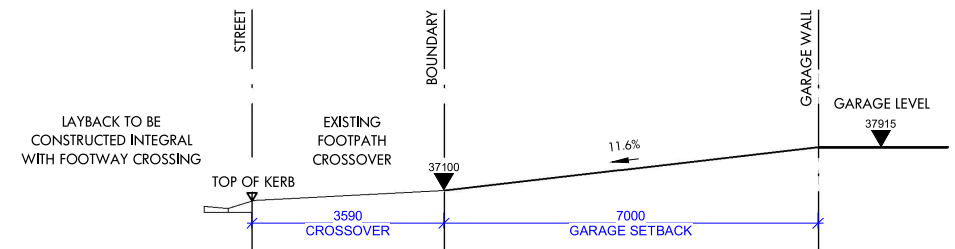
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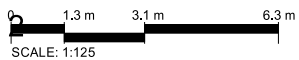
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4 DRIVEWAY SECTION - UNIT 1  
1 : 100



5 DRIVEWAY SECTION - UNIT 2  
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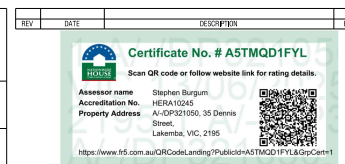
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AS 1674 AUTOMATIC FIRE DETECTION AND ALARM SYSTEM  
AS 1598 INSTALLATION OF FIBER COORDINATES  
AS 2047 WINDOWS IN BUILDINGS - SELECTION AND INSTALLATION  
AS 2205 EMERGENCY ESCAPE LIGHTING AND EXIT SIGNS FOR BUILDINGS  
AS 2444 PORTABLE FIRE EXTINGUISHERS  
AS 3500 NATIONAL PLUMBING AND DRAINAGE  
AS 3606 CONCRETE STRUCTURES  
AS 3710 MASONRY STRUCTURES  
AS 3740 WATERPROOFING OF DOMESTIC WET AREAS  
AS 4116 STEEL STRUCTURES  
AS 4234 FACTORY FOR AB-HANDLING SYSTEMS IN BUILDINGS  
AS 3810 FORMWORK FOR CONCRETE  
OTHER ALTERNATIVE SOLUTIONS

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PAGE NUMBER  
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# STANDARD SPECIFICATION

BE ADVISED : SOME CLAUSES IN THIS SPECIFICATION MAY NOT BE RELEVANT TO THIS PROJECT

## BUILDING SPECIFICATIONS National Construction Code – Volume 2 – Building Code of Australia 2022 & Housing Provisions Standard 2022

### SITE PREPARATION

- PART 3.1 OF THE NCC VOLUME 2 BUILDING CODE OF AUSTRALIA 2022 & HOUSING PROVISIONS STANDARD 2022.

### EARTHWORKS

- TO BE CARRIED OUT IN ACCORDANCE WITH THE REQUIREMENTS OF THE ENVIRONMENTAL PLANNING & ASSESSMENT ACT 1979 AND DEVELOPMENT CONSENT CONDITIONS
- PART 3.2 OF THE NCC VOLUME 2 BUILDING CODE OF AUSTRALIA 2022 & HOUSING PROVISIONS STANDARD 2022.
- AS 4678:2002 - EARTH-RETAINING STRUCTURES

### DRAINAGE

- PART 3.3 OF THE NCC VOLUME 2 BUILDING CODE OF AUSTRALIA 2022 & HOUSING PROVISIONS STANDARD 2022.
- AS/NZS 3500.1:2021 - PLUMBING & DRAINAGE - WATER SERVICES
- AS/NZS 3500.2:2021 - PLUMBING & DRAINAGE - SANITARY PLUMBING & DRAINAGE
- AS/NZS 3500.3:2021 - PLUMBING & DRAINAGE - STORMWATER DRAINAGE
- AS/NZS 3500.4:2021 - PLUMBING & DRAINAGE - HEATED WATER SERVICES

### STRUCTURAL WORK

- Part 2.2 OF THE NCC VOLUME 2 BUILDING CODE OF AUSTRALIA 2022 & HOUSING PROVISIONS STANDARD 2022.
- AS 4100-2020 – STEEL STRUCTURES CODES
- AS/NZS 1170.0-2002 – GENERAL PRINCIPLES
- AS/NZS 1170.1-2002 – PARTS 1 PERMANENT, IMPOSED AND OTHER ACTIONS
- AS/NZS 1170.2-2021 – PART 2 WIND ACTIONS
- AS 3700-2018 – SAA MASONRY CODE
- AS 1684.3-2021- RESIDENTIAL TIMBER FRAMED CONSTRUCTION

### FOOTINGS & SLABS

- PART 4 OF THE NCC VOLUME 2 BUILDING CODE OF AUSTRALIA 2022 & HOUSING PROVISIONS STANDARD 2022.
- AS 2159:2009 - PILING - DESIGN & INSTALLATION
- AS 2870:2011 - RESIDENTIAL SLABS & FOOTINGS
- AS 3600:2018 - CONCRETE STRUCTURES

### MASONRY

- PART 5 OF THE NCC VOLUME 2 BUILDING CODE OF AUSTRALIA 2022 & HOUSING PROVISIONS STANDARD 2022.
- AS 3700:2018 - MASONRY STRUCTURES

### FRAMING

- PART 6 OF THE NCC VOLUME 2 BUILDING CODE OF AUSTRALIA 2022 & HOUSING PROVISIONS STANDARD 2022.
- AS 1684.2:2021 - RESIDENTIAL TIMBER-FRAMED CONSTRUCTION - NON-CYCLONIC AREAS
- AS 1720.1:2010 - TIMBER STRUCTURES - DESIGN METHODS
- AS 4100:2020 - STEEL STRUCTURES
- AS 3660.1-2014 – TERMITE MANAGEMENT SYSTEM

### ROOF & WALL CLADDING

- PART 7 OF THE NCC VOLUME 2 BUILDING CODE OF AUSTRALIA 2022 & HOUSING PROVISIONS STANDARD 2022.
- AS 1273:1991 - UNPLASTICIZED PVC (UPVC) DOWNPIPES & FITTINGS FOR RAINWATER
- AS 1562.1-2018 - DESIGN & INSTALLATION OF SHEET ROOF & WALL CLADDING - METAL
- AS/NZS 1562.3:2006 - DESIGN & INSTALLATION OF SHEET ROOF & WALL CLADDING - PLASTIC
- AS 2049:2002 - ROOF TILES
- AS 2050:2018 - INSTALLATION OF ROOF TILES
- AS 4285:2019 – ROOFLIGHTS

### GLAZING

- PART 8 OF THE NCC VOLUME 2 BUILDING CODE OF AUSTRALIA 2022 & HOUSING PROVISIONS STANDARD 2022.
- AS 1288:2021 - GLASS IN BUILDINGS - SELECTION & INSTALLATION
- AS 2047:2014 - WINDOWS & EXTERNAL GLAZED DOORS IN BUILDINGS
- AS/NZS 2208:1996 - SAFETY GLAZING MATERIALS IN BUILDINGS

### FIRE SAFETY

- PART 9 OF THE NCC VOLUME 2 BUILDING CODE OF AUSTRALIA 2022 & HOUSING PROVISIONS STANDARD 2022.
- AS 3786:2014 - SMOKE ALARMS USING SCATTERED LIGHT, TRANSMITTED LIGHT OR IONIZATION

### HEALTH & AMENITY

- PART 10 OF THE NCC VOLUME 2 BUILDING CODE OF AUSTRALIA 2022 & HOUSING PROVISIONS STANDARD 2022.
- AS/NZS ISO 717.1:2004 - ACOUSTICS - RATING OF SOUND INSULATION IN BUILDINGS & OF BUILDING ELEMENTS - AIRBORNE SOUND INSULATION
- AS ISO 717.2:2004 - ACOUSTICS - RATING OF SOUND INSULATION IN BUILDINGS & OF BUILDING ELEMENTS - IMPACT SOUND INSULATION
- AS 1688.2:2012 - THE USE OF VENTILATION & AIR CONDITIONING IN BUILDINGS - MECHANICAL VENTILATION IN BUILDINGS
- AS 1688.4:2012 - THE USE OF VENTILATION & AIR CONDITIONING IN BUILDINGS - NATURAL VENTILATION OF BUILDINGS
- AS/NZS 1680.0:2009 - INTERIOR LIGHTING - SAFE MOVEMENT
- AS 3740:2021 - WATERPROOFING OF DOMESTIC WET AREAS
- AS 3000-2018 – ELECTRICAL INSTALLATION

### WATERPROOFING

- NCC VOLUME 2 BUILDING CODE OF AUSTRALIA 2022 & HOUSING PROVISIONS STANDARD 2022
- AS 3740-2021 – WATERPROOFING TO WET AREA
- AS 4654-2012 – EXTERNAL WET AREAS

### SAFE MOVEMENT & ACCESS

- PART 11 OF THE NCC VOLUME 2 BUILDING CODE OF AUSTRALIA 2022 & HOUSING PROVISIONS STANDARD 2022.
- AS 1428.1:2009 - DESIGN FOR ACCESS & MOBILITY
- GENERAL REQUIREMENTS FOR ACCESS
- NEW BUILDING WORK
- AS 1657:2018 - FIXED PLATFORMS, WALKWAYS, STAIRWAYS & LADDERS - DESIGN, CONSTRUCTION & INSTALLATION

### HANDRAILS & BALUSTRADE

- PART 11.3.3 OF THE NCC VOLUME 2 BUILDING CODE OF AUSTRALIA 2022 & HOUSING PROVISIONS STANDARD 2022.
- PART 11.3.4 OF THE NCC VOLUME 2 BUILDING CODE OF AUSTRALIA 2022 & HOUSING PROVISIONS STANDARD 2022.
- PART 11.3.5 OF THE NCC VOLUME 2 BUILDING CODE OF AUSTRALIA 2022 & HOUSING PROVISIONS STANDARD 2022.
- AS 1170.1-2002 – BALUSTRADE INSTALLATION

### PROTECTION OF OPENABLE WINDOW

- PART 11.3.7 AND 11.3.8 OF THE NCC VOLUME 2 BUILDING CODE OF AUSTRALIA 2022 & HOUSING PROVISIONS STANDARD 2022.

### DEMOLITION

- AS 2601-2001 – DEMOLITION WORK

### SWIMMING POOL

- PART 12.1.1 (H7D2) OF THE NCC VOLUME 2 BUILDING CODE OF AUSTRALIA 2022 & HOUSING PROVISIONS STANDARD 2022
- AS 1926 PART 1-2012 – SWIMMING POOL SAFETY - SAFETY BARRIERS FOR SWIMMING POOLS
- AS 1926 PART 2-2007 - SWIMMING POOL SAFETY - LOCATION OF SAFETY BARRIERS FOR SWIMMING POOLS (INCORPORATING AMENDMENTS 1 AND 2)
- AS 1926 PART 3-2010 – SWIMMING POOL SAFETY - WATER RECIRCULATION SYSTEMS (INCORPORATING AMENDMENT 1)

### ENERGY EFFICIENCY

- PART 13 OF THE NCC VOLUME 2 BUILDING CODE OF AUSTRALIA 2022 & HOUSING PROVISIONS STANDARD 2022 & BASIX Certificate.

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AS 1670 AUTOMATIC FIRE DETECTION AND ALARM SYSTEM  
AS 1686 INSTALLATION OF TIMBER DOORSETS  
AS 2047 WINDOWS IN BUILDINGS - SELECTION AND INSTALLATION  
AS 2208 EMERGENCY ESCAPE LIGHTING AND EXIT SIGNS FOR BUILDINGS  
AS 2444 PRECASTABLE FIRE EXTERIOR WALLS  
AS 3500 NATIONAL PLUMBING AND DRAINAGE  
AS 3600 CONCRETE STRUCTURES  
AS 3700 MASONRY STRUCTURES  
AS 3740 WATERPROOFING OF DOMESTIC WET AREAS  
AS 4100 STEEL STRUCTURES  
AS 4284 FACTORYWORK FOR AIR-HANDLING SYSTEMS IN BUILDINGS  
AS 3010 FORMWORK FOR CONCRETE  
OTHER A TERMITE SOLUTION

NORTH

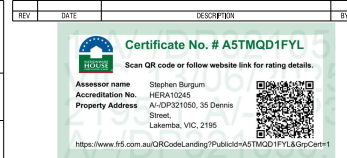
TAG SYMBOLS

WB WINDOW TAG

WF WALL TAG

DF DOOR TAG

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BUILDADA CONSULTING SERVICES

PROJECT DETAILS  
DEMOLITION OF EXISTING DWELLING AND CONSTRUCTION OF NEW SEMI - ATTACHED DUAL OCCUPANCY DOUBLE STOREY WITH GRANNY AND STUDIO AT REAR

PROJECT ADDRESS  
35 DENNIS STREET LAKEMBA 2195 NSW

## DA PACKAGE

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STANDARD SPECIFICATION

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GENERAL NOTES

- ALL MATERIALS AND WORK PRACTICES SHALL COMPLY WITH ALL RELEVANT CURRENT AUSTRALIAN STANDARDS (AS AMENDED) REFERRED TO THERE IN AND CURRENT DESIGN GUIDELINES.
- THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT STRUCTURAL AND ALL OTHER CONSULTANTS DRAWINGS/DETAILS AND WITH ANY OTHER WRITTEN INSTRUCTIONS ISSUED.
- FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
- BUILDER SHALL TAKE ALL STEPS NECESSARY TO ENSURE THE STABILITY AND GENERAL WATER TIGHTNESS OF ALL NEW AND/OR EXISTING STRUCTURES DURING ALL WORKS.
- THE CONTRACTOR/BUILDER IS RESPONSIBLE FOR SETTING OUT AND CHECKING ALL LEVELS AND MEASUREMENTS ON SITE.
- ALL DIMENSIONS AND LEVELS ARE TO BE CONFIRMED BY THE OWNER/BUILDER AND ANY DISCREPANCIES IN THE DOCUMENTS MUST BE RESOLVED BEFORE ORDERING COMMENCEMENT OF ANY WORKS.
- WINDOW SIZES NOMINATED ARE NOMINAL ONLY. ACTUAL SIZE MAY VARY ACCORDING TO MANUFACTURER. WINDOWS ARE TO BE FLASHED ALL AROUND.
- INSTALLATION OF ALL SERVICES MUST COMPLY WITH SUPPLY AUTHORITY REQUIREMENTS.
- THE BUILDER AND SUBCONTRACTOR SHALL ENSURE THAT ALL STORM WATER DRAINS, PIPES AND THE LIKE ARE LOCATED AT A SUFFICIENT DISTANCE FROM ANY FOOTING AND/OR SLAB EDGE BEAMS SO AS TO PREVENT GENERAL MOISTURE PENETRATION, DAMPNESS, WEAKENING AND UNDER MINING OF ANY BUILDING AND ITS FOOTING SYSTEM.
- THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE ARCHITECTURAL DRAWINGS, STRUCTURAL DRAWINGS, AND THE SPECIFICATION.
- PRIOR TO COMMENCEMENT OF WORKS THE CONTRACTOR SHALL SATISFY HIMSELF OF THE CORRECT LOCATION OF EXISTING SERVICES WHETHER INDICATED OR NOT ON THE PLANS. ANY DAMAGE TO EXISTING SERVICES SHALL BE RECTIFIED AT THE CONTRACTOR'S EXPENSE.
- TRAFFIC MANAGEMENT MEASURES HAVE TO BE IMPLEMENTED AND MAINTAINED DURING CONSTRUCTION, ALL IN ACCORDANCE WITH COUNCIL'S REQUIREMENTS. THE CONTRACTOR SHALL MAINTAIN SAFE PEDESTRIAN ACCESS ALONG THE FOOTPATH.
- THE CONTRACTOR SHALL EFFECT TEMPORARY DRAINAGE MEASURES TO AVOID LOCALISED PONDING OF SURFACE RUN-OFF.
- REFER TO ARCHITECTURAL DRAWINGS FOR ALL DETAILS (LEVELS, GRADING, ETC.) OF DRIVEWAYS, CONCRETE AND PAVED AREAS, AND RETAINING WALL TYPES AND LOCATIONS.
- REFER TO LANDSCAPE DRAWINGS FOR DETAILS AND EXTENT OF ALL LANDSCAPED AREAS.
- ALL SWD PIPES ARE UPVC AT 1.0% MINIMUM GRADE.
- SWD PITTS CAN BE PRE-CAST SIZED AS FOLLOWS: 450MM SQ. UP TO 600MM DEEP 600MM SQ. UP TO 1000MM DEEP.
- ALL PITTS LOCATED IN TRAFFICABLE AREAS, (IE. DRIVEWAYS) TO HAVE MEDIUM-DUTY GRATED COVERS SUITABLE FOR WITHSTANDING LOADS ASSOCIATED WITH SMALL TRUCKS.
- PROVIDE STEP IRONS TO ALL PITTS GREATER THAN 1.2M DEEP.
- THE CONTRACTOR SHALL IMPLEMENT ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO COMMENCEMENT OF WORKS.
- TOPSOIL SHALL BE STRIPPED DN STOCKPILE OUTSIDE HAZARD AREAS SUCH AS DRAINAGE LINES. THIS TOPSOIL IS TO BE RESPREAD LATER ON ARE AS TO BE REVEGETATED.
- THE CONTRACTOR SHALL REGULARLY MAINTAIN ALL SEDIMENT AND EROSION CONTROL DEVICES AND REMOVE ACCUMULATED SILT FROM SUCH DEVICES. ALL SILT REMOVED SHALL BE DISPOSED OF AS DIRECTED BY THE SUPERINTENDENT. THE PERIOD FOR MAINTAINING THESE DEVICES SHALL BE AT LEAST UNTIL ALL DISTURBED AREAS ARE REVEGETATED AND FURTHER AS MAY BE DIRECTED BY THE SUPERINTENDENT OR COUNCIL.
- THE CONTRACTOR SHALL MAINTAIN DUST CONTROL UNTIL FINAL COMPLETION OF WORKS.

BCA COMPLIANCE NOTES

BUILDING CODE OF AUSTRALIA VOLUME 2 2022 EDITION OF THE NCC & RELEVANT AUSTRALIAN STANDARDS NOTES:

- ALL WINDOWS TO HABITABLE ROOMS REQUIRING RESTRICTED OPENINGS MUST COMPLY WITH THE REQUIREMENTS OF BCA VOL 2
- NON-SLIP NOSINGS TREADS TO STAIRS TO COMPLY WITH THE REQUIREMENTS OF BCA VOL 2
- ALL MASONRY WALLS TO COMPLY WITH THE REQUIREMENTS OF BCA VOL 2 AND AS3700
- TERMITE MANAGEMENT SYSTEMS TO BE INSTALLED AS PER AS3660.1 OR AS3660.2
- HIGH IMPACT VAPOR BARRIER TO COMPLY WITH THE REQUIREMENTS OF BCA VOL 2
- GUTTERS AND DOWNPIPES TO COMPLY WITH THE REQUIREMENTS AS3500.3 AND/OR AS3500.5
- WET AREA MEMBRANE TO BE INSTALLED AS PER AS3740 AND THE REQUIREMENTS OF BCA VOL 2
- ALL ENCLOSED WATER CLOSET DOORS MUST SWING OUT **OR** BE PROVIDED WITH REMOVABLE HINGES **OR** CAVITY SLIDING DOOR AS PER THE REQUIREMENTS OF BCA VOL 2
- SMOKE ALARMS TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF BCA VOL 2
- STAIRS TO BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF BCA VOL 2
- FINISH OF STAIRS MUST MEET THE REQUIREMENTS OF THE BCA VOL 2
- LANDINGS TO BE PROVIDED MUST COMPLY WITH THE REQUIREMENTS OF BCA VOL 2
- BARRIERS AND BALUSTRADING TO COMPLY WITH THE REQUIREMENTS OF BCA VOL 2
- HANDRAILS SERVICING STAIRS TO COMPLY WITH THE REQUIREMENTS OF BCA VOL 2
- ROOM HEIGHTS IN HABITABLE ROOMS MUST BE A MINIMUM OF 2.4M MEASURED FROM THE FINISHED FLOOR TO THE CEILING LINING AS PER THE REQUIREMENTS OF BCA VOL 2

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THE FOLLOWING STANDARDS MAY BE REFERRED TO IN THESE DRAWINGS:  
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AS 1428 DESIGN FOR ACCESS AND MOBILITY  
AS 1687 FIXED PLATFORMS, WALKWAYS, STAIRWAYS AND LADDERS  
AS 1686 MECHANICAL VENTILATION AND AIR-CONDITIONING  
AS 1676 AUTOMATIC FIRE DETECTION AND ALARM SYSTEM  
AS 1696 INSTALLATION OF TRIGGER COORDINATES  
AS 2047 WINDOWS IN BUILDINGS - SELECTION AND INSTALLATION  
AS 2205 EMERGENCY ESCAPE LIGHTING AND EXIT SIGNS FOR BUILDINGS  
AS 2444 PORTABLE FIRE EXTINGUISHERS  
AS 3025 NATURAL FLOODING AND DRAINAGE  
AS 3026 CONCRETE STRUCTURES  
AS 3103 MASONRY STRUCTURES  
AS 3740 WATERPROOFING OF DOMESTIC WET AREAS  
AS 4105 STEEL STRUCTURES  
AS 4254 FACTORY FOR AIR-HANDLING SYSTEMS IN BUILDINGS  
AS 3810 FORMWORK FOR CONCRETE  
OTHER ALTERNATIVE SOLUTION

NORTH

TAG SYMBOLS

WB WINDOW TAG DF DOOR TAG

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# BUILDING DESIGN SAFETY REPORT

## 1. FALLS, SLIPS, TRIPS

A) WORKING AT HEIGHTS DURING CONSTRUCTION WHEREVER POSSIBLE, COMPONENTS FOR THIS BUILDING SHOULD BE PREFABRICATED OFF-SITE OR AT GROUND LEVEL TO MINIMISE THE RISK OF WORKERS FALLING MORE THAN TWO METERS, HOWEVER, CONSTRUCTION OF THIS BUILDING WILL REQUIRE WORKERS TO BE WORKING AT HEIGHTS WHERE A FALL IN EXCESS OF TWO METERS IS POSSIBLE AND INJURY IS LIKELY TO RESULT FROM SUCH A FALL.

THE BUILDER SHOULD PROVIDE A SUITABLE BARRIER WHEREVER A PERSON IS EQUIURED TO WORK IN A SITUATION WHERE FALLING MORE THAN TWO METERS IS A POSSIBILITY.

DURING OPERATION OR MAINTENANCE FOR HOUSES OR OTHER LOW-RISE BUILDINGS WHERE SCAFFOLDING IS APPROPRIATE: CLEANING AND MAINTENANCE OF WINDOWS, WALLS, ROOF OR OTHER COMPONENTS OF THIS BUILDING WILL REQUIRE PERSONS TO BE SITUATED WHERE A FALL FROM A HEIGHT IN EXCESS OF TWO METERS IS POSSIBLE. WHERE THIS TYPE OF ACTIVITY IS REQUIRED, SCAFFOLDING, LADDERS OR TRESTLES SHOULD BE USED IN ACCORDANCE WITH RELEVANT CODES OF PRACTICE, REGULATIONS OR LEGISLATION.

## B) SLIPPERY OR UNEVEN SURFACES

FLOOR FINISHES BY OWNER DESIGNER HAS NOT NOT BEEN INVOLVED IN THE SELECTION OF SURFACE FINISHES. THE OWNER IS RESPONSIBLE FOR THE SELECTION OF SURFACE FINISHES IN THE PEDESTRIAN TRAFFICABLE AREAS OF THIS BUILDING.

SURFACES SHOULD BE SELECTED IN ACCORDANCE WITH AS HB 197:1999 AND AS/NZ 4586:2004.

STEPS, LOOSE OBJECTS AND UNEVEN SURFACES DUE TO DESIGN RESTRICTIONS FOR THIS BUILDING, STEPS AND/OR RAMPS ARE INCLUDED IN THE BUILDING WHICH MAY BE A HAZARD TO WORKERS CARRYING OBJECTS OR OTHERWISE OCCUPIED.

STEPS SHOULD BE CLEARLY MARKED WITH BOTH VISUAL AND TACTILE WARNING DURING CONSTRUCTION, MAINTENANCE, DEMOLITION AND AT ALL TIMES WHEN THE BUILDING OPERATES AS A WORKPLACE.

BUILDING OWNERS AND OCCUPIERS SHOULD MONITOR THE PEDESTRIAN ACCESS WAYS AND IN PARTICULAR ACCESS TO AREAS WHERE MAINTENANCE IS ROUTINELY CARRIED OUT TO ENSURE THAT SURFACES HAVE NOT MOVED OR CRACKED SO THAT THEY BECOME UNEVEN AND PRESENT A TRIP HAZARD.

SPILLS, LOOSE MATERIAL, STRAY OBJECTS OR ANY OTHER MATTER THAT MAY CAUSE A SLIP OR TRIP HAZARD SHOULD BE CLEANED OR REMOVED FROM ACCESS WAYS.

CONTRACTORS SHOULD BE REQUIRED TO MAINTAIN A TIDY WORK SITE DURING CONSTRUCTION, MAINTENANCE OR DEMOLITION TO REDUCE THE RISK OF TRIPS AND FALLS IN THE WORKPLACE.

MATERIALS FOR CONSTRUCTION OR MAINTENANCE SHOULD BE STORED IN DESIGNATED AREAS AWAY FROM ACCESS WAYS AND WORK AREAS.

## 2. FALLING OBJECTS

LOOSE MATERIALS OR SMALL OBJECTS CONSTRUCTION, MAINTENANCE OR DEMOLITION WORK ON OR AROUND THIS BUILDING IS LIKELY TO INVOLVE PERSONS WORKING ABOVE GROUND LEVEL OR ABOVE FLOOR LEVELS.

WHERE THIS OCCURS ONE OR MORE OF THE FOLLOWING MEASURES SHOULD BE TAKEN TO AVOID OBJECTS FALLING FROM THE AREA WHERE THE WORK IS BEING CARRIED OUT ONTO PERSONS BELOW:

1. PREVENT OR RESTRICT ACCESS TO AREAS BELOW WHERE THE WORK IS BEING CARRIED OUT.
2. PROVIDE TOEBOARDS TO SCAFFOLDING OR WORK PLATFORMS.
3. PROVIDE PROTECTIVE STRUCTURE BELOW THE WORK AREA.
4. ENSURE THAT ALL PERSONS BELOW THE WORK AREA HAVE PERSONAL PROTECTIVE EQUIPMENT (PPE).

DURING CONSTRUCTION, RENOVATION OR DEMOLITION OF THIS BUILDING, PARTS OF THE STRUCTURE INCLUDING FABRICATED STEELWORK, HEAVY PANELS AND MANY OTHER COMPONENTS WILL REMAIN STANDING PRIOR TO OR AFTER SUPPORTING PARTS ARE IN PLACE. CONTRACTORS SHOULD ENSURE THAT TEMPORARY BRACING OR OTHER REQUIRED SUPPORT IS IN PLACE AT ALL TIMES WHEN COLLAPSE WHICH MAY INJURE PERSONS IN THE AREA IS A POSSIBILITY.

## BUILDING COMPONENTS

MECHANICAL LIFTING OF MATERIALS AND COMPONENTS DURING CONSTRUCTION, MAINTENANCE OR DEMOLITION PRESENTS A RISK OF FALLING OBJECTS. CONTRACTORS SHOULD ENSURE THAT APPROPRIATE LIFTING DEVICES ARE USED, THAT LOADS ARE PROPERLY SECURED AND THAT ACCESS TO AREAS BELOW THE LOAD IS PREVENTED OR RESTRICTED

## 3. TRAFFIC MANAGEMENT

FOR BUILDING ON A MAJOR ROAD, NARROW ROAD OR STEEPLY SLOPING ROAD: PARKING OF VEHICLES OR LOADING/UNLOADING OF VEHICLES ON THIS ROADWAY MAY CAUSE A TRAFFIC HAZARD.

DURING CONSTRUCTION, MAINTENANCE OR DEMOLITION OF THIS BUILDING DESIGNATED PARKING FOR WORKERS AND LOADING AREAS SHOULD BE PROVIDED. TRAINED TRAFFIC MANAGEMENT PERSONNEL SHOULD BE RESPONSIBLE FOR THE SUPERVISION OF THESE AREAS.

FOR BUILDING WHERE ON-SITE LOADING/UNLOADING IS RESTRICTED:

CONSTRUCTION OF THIS BUILDING WILL REQUIRE LOADING AND UNLOADING OF MATERIALS ON THE ROADWAY.

DELIVERIES SHOULD BE WELL PLANNED TO AVOID CONGESTION OF LOADING AREAS AND TRAINED TRAFFIC MANAGEMENT PERSONNEL SHOULD BE USED TO SUPERVISE LOADING/UNLOADING AREAS.

FOR ALL BUILDINGS:

BUSY CONSTRUCTION AND DEMOLITION SITES PRESENT A RISK OF COLLISION WHERE DELIVERIES AND OTHER TRAFFIC ARE MOVING WITHIN THE SITE. A TRAFFIC MANAGEMENT PLAN SUPERVISED BY TRAINED TRAFFIC MANAGEMENT PERSONNEL SHOULD BE ADOPTED FOR THE WORK SITE.

## 4. SERVICES

RUPTURE OF SERVICES DURING EXCAVATION OR OTHER ACTIVITY CREATES A VARIETY OF RISKS INCLUDING RELEASE OF HAZARDOUS MATERIAL. EXISTING SERVICES ARE LOCATED ON OR AROUND THIS SITE, WHERE KNOWN, THESE ARE IDENTIFIED ON THE PLANS BUT THE EXACT LOCATION AND EXTENT OF SERVICES MAY VARY FROM THAT INDICATED.

SERVICES SHOULD BE LOCATED USING AN APPROPRIATE SERVICE (SUCH AS DIAL BEFORE YOU DIG). APPROPRIATE EXCAVATION PRACTICE SHOULD BE USED AND, WHERE NECESSARY, SPECIALIST CONTRACTORS SHOULD BE USED.

LOCATIONS WITH UNDERGROUND POWER: UNDERGROUND POWER LINES MAY BE LOCATED IN OR AROUND THIS SITE.

ALL UNDERGROUND POWER LINES MUST BE DISCONNECTED OR CAREFULLY LOCATED AND ADEQUATE WARNING SIGNS USED PRIOR TO ANY CONSTRUCTION, MAINTENANCE OR DEMOLITION COMMENCING.

LOCATIONS WITH OVERHEAD POWER LINES:

OVERHEAD POWER LINES MAY BE NEAR OR ON THIS SITE. THESE POSE A RISK OF ELECTROCUTION IF STRUCK OR APPROACHED BY LIFTING DEVICES OR OTHER PLANT AND PERSONS WORKING ABOVE GROUND LEVEL, WHERE THERE IS A DANGER OF THIS OCCURRING, POWER LINES SHOULD BE, WHERE PRACTICAL, DISCONNECTED OR RELOCATED.

WHERE THIS IS NOT PRACTICAL ADEQUATE WARNING IN THE FORM OF BRIGHT COLOURED TAPE OR SIGNAGE SHOULD BE USED OR A PROTECTIVE BARRIER PROVIDED.

## 5. MANUAL TASKS

COMPONENTS WITHIN THIS DESIGN WITH A MASS IN EXCESS OF 25KG SHOULD BE LIFTED BY TWO OR MORE WORKERS OR BY MECHANICAL LIFTING DEVICE. WHERE THIS IS NOT PRACTICAL, SUPPLIERS OR FABRICATORS SHOULD BE REQUIRED TO LIMIT THE COMPONENT MASS.

ALL MATERIAL PACKAGING, BUILDING AND MAINTENANCE COMPONENTS SHOULD CLEARLY SHOW THE TOTAL MASS OF PACKAGES AND WHERE PRACTICAL ALL ITEMS SHOULD BE STORED ON SITE IN A WAY WHICH MINIMISES BENDING BEFORE LIFTING. ADVICE SHOULD BE PROVIDED ON SAFE LIFTING METHODS IN ALL AREAS WHERE LIFTING MAY OCCUR.

CONSTRUCTION, MAINTENANCE AND DEMOLITION OF THIS BUILDING WILL REQUIRE THE USE OF PORTABLE TOOLS AND EQUIPMENT. THESE SHOULD BE FULLY MAINTAINED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND NOT USED WHERE FAULTY OR (IN THE CASE OF ELECTRICAL EQUIPMENT) NOT CARRYING A CURRENT ELECTRICAL SAFETY TAG.

ALL SAFETY GUARDS OR DEVICES SHOULD BE REGULARLY CHECKED AND PERSONAL PROTECTIVE EQUIPMENT SHOULD BE USED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATION.

## 6. HAZARDOUS SUBSTANCES

### ASBESTOS

FOR ALTERATIONS TO A BUILDING CONSTRUCTED PRIOR TO 1990:

IF THIS EXISTING BUILDING WAS CONSTRUCTED PRIOR TO:

1990 - IT THEREFORE MAY CONTAIN ASBESTOS

1986 - IT THEREFORE IS LIKELY TO CONTAIN ASBESTOS

ETHER IN CLADDING MATERIAL OR IN FIRE RETARDANT INSULATION MATERIAL. IN EITHER CASE, THE BUILDER SHOULD CHECK AND, IF NECESSARY, TAKE APPROPRIATE ACTION BEFORE DEMOLISHING, CUTTING, SANDING, DRILLING OR OTHERWISE DISTURBING THE EXISTING STRUCTURE.

### POWDERED MATERIALS

MANY MATERIALS USED IN THE CONSTRUCTION OF THIS BUILDING CAN CAUSE HARM IF INHALED IN POWDERED FORM. PERSONS WORKING ON OR IN THE BUILDING DURING CONSTRUCTION, OPERATIONAL MAINTENANCE OR DEMOLITION SHOULD ENSURE GOOD VENTILATION AND WEAR PERSONAL PROTECTIVE EQUIPMENT INCLUDING PROTECTION AGAINST INHALATION WHILE USING POWDERED MATERIAL OR WHEN SANDING, DRILLING, CUTTING OR OTHERWISE DISTURBING OR CREATING POWDERED MATERIAL.

### TREATED TIMBER

THE DESIGN OF THIS BUILDING MAY INCLUDE PROVISION FOR THE INCLUSION OF TREATED TIMBER

WITHIN THE STRUCTURE. DUST OR FUMES FROM THIS MATERIAL CAN BE HARMFUL. PERSONS WORKING ON OR IN THE BUILDING DURING CONSTRUCTION, OPERATIONAL MAINTENANCE OR DEMOLITION SHOULD ENSURE GOOD VENTILATION AND WEAR PERSONAL PROTECTIVE EQUIPMENT INCLUDING PROTECTION AGAINST INHALATION OF HARMFUL MATERIAL WHEN SANDING, DRILLING, CUTTING OR USING TREATED TIMBER IN ANY WAY THAT MAY CAUSE HARMFUL MATERIAL TO BE RELEASED. DO NOT BURN TREATED TIMBER.

### VOLATILE ORGANIC COMPOUNDS

MANY TYPES OF GLUE, SOLVENTS, SPRAY PACKS, PAINTS, VARNISHES AND SOME CLEANING MATERIALS AND DISINFECTANTS HAVE DANGEROUS EMISSIONS. AREAS WHERE THESE ARE USED SHOULD BE KEPT WELL VENTILATED WHILE THE MATERIAL IS BEING USED AND FOR A PERIOD AFTER INSTALLATION.

PERSONAL PROTECTIVE EQUIPMENT MAY ALSO BE REQUIRED. THE MANUFACTURER'S RECOMMENDATIONS FOR USE MUST BE CAREFULLY CONSIDERED AT ALL TIMES. SYNTHETIC MINERAL FIBRE FIBREGLASS, ROCKWOOL, CERAMIC AND OTHER MATERIAL USED FOR THERMAL OR SOUND INSULATION MAY CONTAIN SYNTHETIC MINERAL FIBRE WHICH MAY BE HARMFUL IF INHALED OR IF IT COMES IN CONTACT WITH THE SKIN. EYES OR OTHER SENSITIVE PARTS OR THE BODY. PERSONAL PROTECTIVE EQUIPMENT INCLUDING PROTECTION AGAINST INHALATION OF HARMFUL MATERIAL SHOULD BE USED WHEN INSTALLING, REMOVING OR WORKING NEAR BULK INSULATION MATERIAL.

### TIMBER FLOORS

THIS BUILDING MAY CONTAIN TIMBER FLOORS WHICH HAVE AN APPLIED FINISH. AREAS WHERE FINISHES ARE APPLIED SHOULD BE KEPT WELL VENTILATED DURING SANDING AND APPLICATION AND FOR A PERIOD AFTER INSTALLATION. PERSONAL PROTECTIVE EQUIPMENT MAY ALSO BE REQUIRED. THE MANUFACTURER'S RECOMMENDATIONS FOR USE MUST BE CAREFULLY CONSIDERED AT ALL TIMES

### 7. CONFINED SPACES

#### EXCAVATION

CONSTRUCTION OF THIS BUILDING AND SOME MAINTENANCE ON THE BUILDING WILL REQUIRE EXCAVATION AND INSTALLATION OF ITEMS WITHIN EXCAVATIONS. WHERE PRACTICAL, INSTALLATION SHOULD BE CARRIED OUT USING METHODS WHICH DO NOT REQUIRE WORKERS TO ENTER THE EXCAVATION. WHERE THIS IS NOT PRACTICAL, ADEQUATE SUPPORT FOR THE EXCAVATED AREA SHOULD BE PROVIDED TO PREVENT COLLAPSE. WARNING SIGNS AND BARRIERS TO PREVENT ACCIDENTAL OR UNAUTHORISED ACCESS TO ALL EXCAVATIONS SHOULD BE PROVIDED.

#### ENCLOSED SPACES

FOR BUILDINGS WITH ENCLOSED SPACES WHERE MAINTENANCE OR OTHER ACCESS MAY BE REQUIRED:

ENCLOSED SPACES WITHIN THIS BUILDING MAY PRESENT A RISK TO PERSONS ENTERING FOR CONSTRUCTION, MAINTENANCE OR ANY OTHER PURPOSE. THE DESIGN DOCUMENTATION CALLS FOR WARNING SIGNS AND BARRIERS TO UNAUTHORISED ACCESS. THESE SHOULD BE MAINTAINED THROUGHOUT THE LIFE OF THE BUILDING. WHERE WORKERS ARE REQUIRED TO ENTER ENCLOSED SPACES, AIR TESTING EQUIPMENT AND PERSONAL PROTECTIVE EQUIPMENT SHOULD BE PROVIDED.

#### SMALL SPACES

FOR BUILDINGS WITH SMALL SPACES WHERE MAINTENANCE OR OTHER ACCESS MAY BE REQUIRED: SOME SMALL SPACES WITHIN THIS BUILDING WILL REQUIRE ACCESS BY CONSTRUCTION OR MAINTENANCE WORKERS. THE DESIGN DOCUMENTATION CALLS FOR WARNING SIGNS AND BARRIERS TO UNAUTHORISED ACCESS. THESE SHOULD BE MAINTAINED THROUGHOUT THE LIFE OF THE BUILDING.

WHERE WORKERS ARE REQUIRED TO ENTER SMALL SPACES THEY SHOULD BE SCHEDULED SO THAT ACCESS IS FOR SHORT PERIODS. MANUAL LIFTING AND OTHER MANUAL ACTIVITY SHOULD BE RESTRICTED IN SMALL SPACES.

### 8. PUBLIC ACCESS

PUBLIC ACCESS TO CONSTRUCTION AND DEMOLITION SITES AND TO AREAS UNDER MAINTENANCE CAUSES RISK TO WORKERS AND PUBLIC. WARNING SIGNS AND SECURE BARRIERS TO UNAUTHORISED ACCESS SHOULD BE PROVIDED. WHERE ELECTRICAL INSTALLATIONS, EXCAVATIONS, PLANT OR LOOSE MATERIALS ARE PRESENT THEY SHOULD BE SECURED WHEN NOT FULLY SUPERVISED.

### 9. OPERATIONAL USE OF BUILDING

#### RESIDENTIAL BUILDINGS

THIS BUILDING HAS BEEN DESIGNED AS A RESIDENTIAL BUILDING. IF IT, AT A LATER DATE, IT IS USED OR INTENDED TO BE USED AS A WORKPLACE, THE PROVISIONS OF THE WORK HEALTH AND SAFETY ACT 2011 OR SUBSEQUENT REPLACEMENT ACT SHOULD BE APPLIED TO THE NEW USE.

### 10. OTHER HIGH RISK ACTIVITY

ALL ELECTRICAL WORK SHOULD BE CARRIED OUT IN ACCORDANCE WITH CODE OF PRACTICE: MANAGING ELECTRICAL RISKS AT THE WORKPLACE, AS/NZ 3012 AND ALL LICENSING REQUIREMENTS. ALL WORK USING PLANT SHOULD BE CARRIED OUT IN ACCORDANCE WITH CODE OF PRACTICE: MANAGING RISKS OF PLANT AT THE WORKPLACE. ALL WORK SHOULD BE CARRIED OUT IN ACCORDANCE WITH CODE OF PRACTICE: MANAGING NOISE AND PREVENTING HEARING LOSS AT WORK. DUE TO THE HISTORY OF SERIOUS INCIDENTS IT IS RECOMMENDED THAT PARTICULAR CARE BE EXERCISED WHEN UNDERTAKING WORK INVOLVING STEEL CONSTRUCTION AND CONCRETE PLACEMENT. ALL THE ABOVE APPLIES

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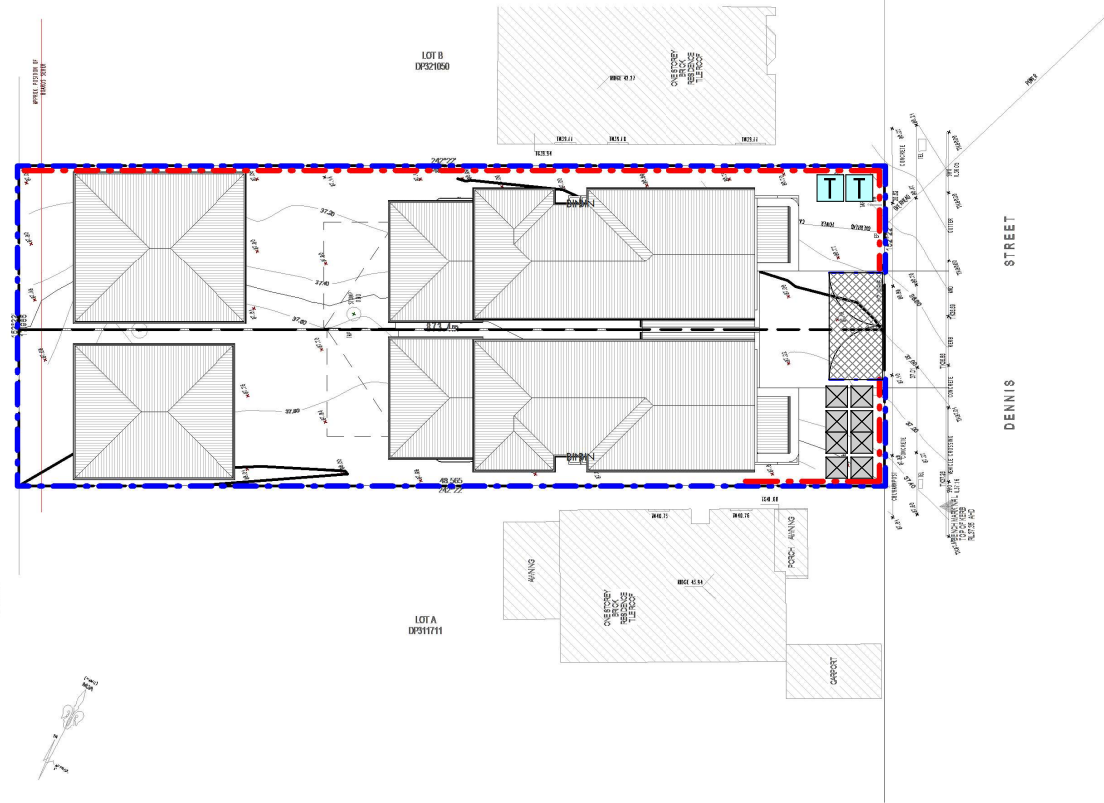


No common areas specified.

11. Other		12. Other	13. Other	14. Other	15. Other	16. Other	17. Other	18. Other	19. Other	20. Other	21. Other	22. Other	23. Other	24. Other	25. Other	26. Other	27. Other	28. Other	29. Other	30. Other	31. Other	32. Other	33. Other	34. Other	35. Other	36. Other	37. Other	38. Other	39. Other	40. Other	41. Other	42. Other	43. Other	44. Other	45. Other	46. Other	47. Other	48. Other	49. Other	50. Other	51. Other	52. Other	53. Other	54. Other	55. Other	56. Other	57. Other	58. Other	59. Other	60. Other	61. Other	62. Other	63. Other	64. Other	65. Other	66. Other	67. Other	68. Other	69. Other	70. Other	71. Other	72. Other	73. Other	74. Other	75. Other	76. Other	77. Other	78. Other	79. Other	80. Other	81. Other	82. Other	83. Other	84. Other	85. Other	86. Other	87. Other	88. Other	89. Other	90. Other	91. Other	92. Other	93. Other	94. Other	95. Other	96. Other	97. Other	98. Other	99. Other	100. Other									
11.1	11.2	11.3	11.4	11.5	11.6	11.7	11.8	11.9	11.10	11.11	11.12	11.13	11.14	11.15	11.16	11.17	11.18	11.19	11.20	11.21	11.22	11.23	11.24	11.25	11.26	11.27	11.28	11.29	11.30	11.31	11.32	11.33	11.34	11.35	11.36	11.37	11.38	11.39	11.40	11.41	11.42	11.43	11.44	11.45	11.46	11.47	11.48	11.49	11.50	11.51	11.52	11.53	11.54	11.55	11.56	11.57	11.58	11.59	11.60	11.61	11.62	11.63	11.64	11.65	11.66	11.67	11.68	11.69	11.70	11.71	11.72	11.73	11.74	11.75	11.76	11.77	11.78	11.79	11.80	11.81	11.82	11.83	11.84	11.85	11.86	11.87	11.88	11.89	11.90	11.91	11.92	11.93	11.94	11.95	11.96	11.97	11.98	11.99	12.00

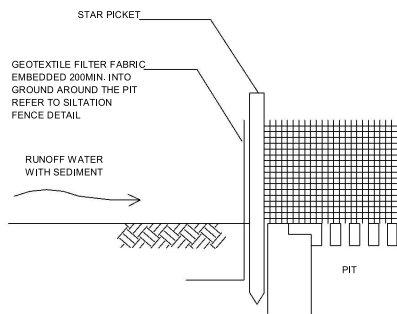
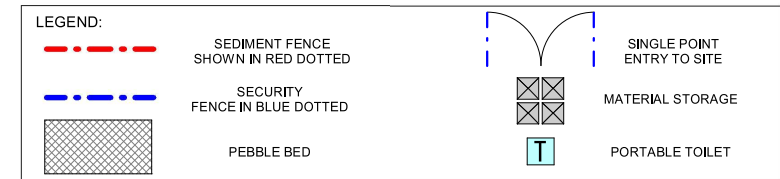
[illegible][illegible]DA - 20

# SEDIMENT AND EROSION PLAN

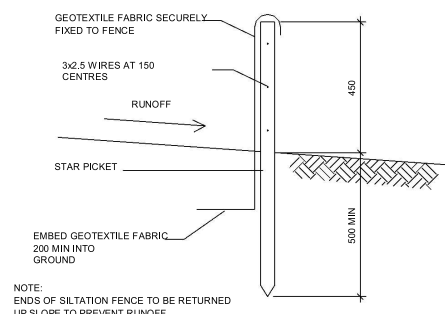


## NOTES

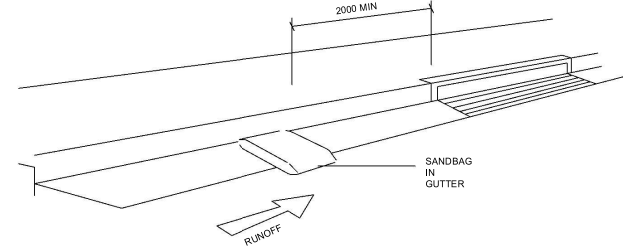
1. THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE ARCHITECTURAL DRAWINGS, STRUCTURAL DRAWINGS AND THE SPECIFICATION.
2. PRIOR TO COMMENCEMENT OF WORKS THE CONTRACTOR SHALL SATISFY HIMSELF OF THE CORRECT LOCATION OF EXISTING SERVICES WHETHER INDICATED OR NOT ON THE PLANS, ANY DAMAGE TO EXISTING SERVICES SHALL BE RECTIFIED AT THE CONTRACTORS EXPENSE.
3. TRAFFIC MANAGEMENT MEASURES HAVE TO BE IMPLEMENTED AND MAINTAINED DURING CONSTRUCTION, ALL IN ACCORDANCE WITH COUNCIL'S REQUIREMENTS, THE CONTRACTOR SHALL MAINTAIN SAFE PEDESTRIAN ACCESS ALONG THE FOOTPATH.
4. THE CONTRACTOR SHALL EFFECT TEMPORARY DRAINAGE MEASURES TO AVOID LOCALISED PONDING OF SURFACE RUN-OFF.
5. REFER TO ARCHITECT'S DRAWINGS FOR ALL DETAILS (LEVELS, GRADING ETC.) OF DRIVEWAYS, CONCRETE AND PAVED AREAS, AND RETAINING WALL TYPES AND LOCATIONS.
6. REFER TO LANDSCAPE ARCHITECT'S DRAWINGS FOR DETAILS AND EXTENT OF ALL LANDSCAPED AREAS.
7. ALL SWDPIPES ARE UPVC AT 1.0% MINIMUM GRADE (UNO).
8. SWDPIPS CAN BE PRE-CAST SIZED AS FOLLOWS:  
450mm SQ. UP TO 600mm DEEP  
600mm SQ. UP TO 1000mm DEEP
9. ALL PITS LOCATED IN TRAFFICABLE AREAS, (IE, DRIVEWAYS) TO HAVE MEDIUM DUTY GRATED COVERS SUITABLE FOR WITHSTANDING LOADS ASSOCIATED WITH SMALL TRUCKS.
10. PROVIDE STEP IRONS TO ALL PITS GREATER THAN 1.2m DEEP.
11. THE CONTRACTOR SHALL IMPLEMENT ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO COMMENCEMENT OF WORKS.
12. TOPSOIL SHALL BE STRIPPED DN STOCKPILED OUTSIDE HAZARD AREAS SUCH AS DRAINAGE LINES, THIS TOPSOIL IS TO BE RESPREAD LATER ON AREAS TO BE REVEGETATED.
13. THE CONTRACTOR SHALL REGULARLY MAINTAIN ALL SEDIMENT AND EROSION CONTROL DEVICES AND REMOVE ACCUMULATED SILT FROM SUCH DEVICES, ALL SILT REMOVED SHALL BE DISPOSED OF AS DIRECTED BY THE SUPERINTENDENT, THE PERIOD FOR MAINTAINING THESE DEVICES SHALL BE AT LEAST UNTIL ALL DISTURBED AREAS ARE REVEGETATED AND FURTHER AS MAY BE DIRECTED BY THE SUPERINTENDENT OR COUNCIL.
14. THE CONTRACTOR SHALL MAINTAIN DUST CONTROL UNTIL FINAL COMPLETION OF WORKS.



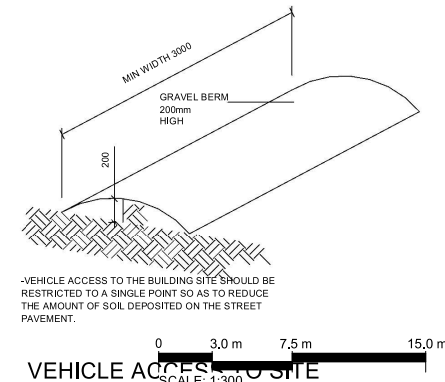
GEOTEXTILE FILTER PIT SURROUND



SILTATION FENCE DETAIL



SANDBAG KERB INLET SEDIMENT TRAP



VEHICLE ACCESS TO SITE

eco. factor Pty. Ltd

MEMBER:



This drawing is the property of ECO.FACTOR PTY LTD and shall not be used in full or in part without consent of ECO.FACTOR PTY LTD.  
- Figured dimensions are to take preference over scaled dimensions.  
- Builder shall be held responsible to verify all dimensions/levels on site & notify any discrepancy to ECO.FACTOR PTY LTD  
- All materials are to be used in accordance with manufacturer's specifications and instructions and to comply with relevant Australian Standards.

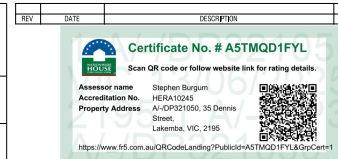


THE FOLLOWING STANDARDS MAY BE REFERRED TO IN THIS DRAWING:  
AS 1288 GLASS IN BUILDINGS - SELECTION AND INSTALLATION  
AS 1428 DESIGN FOR ACCESS AND MOBILITY  
AS 1687 FIBRE PLATFORMS, WALKWAYS, STAIRWAYS AND LADDERS  
AS 1688 MECHANICAL VENTILATION AND AIR-CONDITIONING  
AS 1674 AUTOMATIC FIRE DETECTION AND ALARM SYSTEM  
AS 1698 INSTALLATION OF FIRE COORDINATES  
AS 2047 WINDOWS IN BUILDINGS - SELECTION AND INSTALLATION  
AS 2205 EMERGENCY ESCAPE LIGHTING AND EXIT SIGNS FOR BUILDINGS  
AS 2444 PORTABLE FIRE EXTINGUISHERS  
AS 3502 WATER PLUMBING AND DRAINAGE  
AS 3602 CONCRETE STRUCTURES  
AS 3710 MACHINERY STRUCTURES  
AS 3740 WATERPROOFING OF DOMESTIC WET AREAS  
AS 4110 STEEL STRUCTURES  
AS 4234 FACTORY FOR AIR-HANDLING SYSTEMS IN BUILDINGS  
AS 3810 FORMWORK FOR CONCRETE  
OTHER A/T/TERMINES SOLUTION

**TAG SYMBOLS**

- WB WINDOW TAG
- DF DOOR TAG
- WALL TAG

DO NOT SCALE, USE FIGURED DIMENSIONS ONLY, VERIFY ALL LEVELS AND DIMENSIONS ON SITE BEFORE COMMENCING CONSTRUCTION, FABRICATION, OR SHOP DRAWINGS.  
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CLIENT  
BUILDAD CONSULTING SERVICES

PROJECT DETAIL  
DEMOLITION OF EXISTING DWELLING AND CONSTRUCTION OF NEW SEMI-ATTACHED DUAL OCCUPANCY DOUBLE STOREY WITH GRANNY AND STUDIO AT REAR

PROJECT ADDRESS  
35 DENNIS STREET LAKEMBA 2195 NSW

DA PACKAGE

DRAWING TITLE  
SEDIMENT AND EROSION PLAN

SCALE  
As indicated

DATE  
23/06/2025 12:35:27 PM

CHECKED  
AI

DRAWING NO.  
2458

PROJ. STAGE  
DA

PAGE NUMBER  
DA - 21

[illegible][illegible][illegible][illegible][illegible]

W73793446 NARFIELD Outflow		7 Year Running sum of 10, 30, 60, 90			
E15.565.666.4		All Series Shaded Color: 0.57		0.57	
W73793446 NARFIELD G1A 1.0.4		0.57		0.57	
Window and gazeed door schedule					
Location	Window ID	Window no.	Height	Width	Window schedule
Office	W15.342.001.4	W6	1200	1810	opening - 00:00
Office	W15.342.001.4	W1	1800	1810	opening - 00:00
Office	W15.342.001.4	T1	2400	820	closing - 00:00
Office	W15.342.001.4	W2	2700	1200	opening - 00:00
Party	W15.342.001.4	W5	600	1200	opening - 00:00
HeadLum.Cool	W15.342.001.4	W8	600	1810	opening - 00:00
HeadLum.Cool	W15.342.001.4	W1	1200	1810	opening - 00:00
HeadLum.Cool	W15.342.001.4	W2	2400	1810	opening - 00:00
HeadLum.Cool	W15.342.001.4	W5	600	1200	opening - 00:00
HeadLum.Cool	W15.342.001.4	W8	1200	1810	opening - 00:00
HeadLum.Cool	W15.342.001.4	W1	1800	1810	opening - 00:00
HeadLum.Cool	W15.342.001.4	W2	2400	1810	opening - 00:00
HeadLum.Cool	W15.342.001.4	W5	600	1200	opening - 00:00
HeadLum.Cool	W15.342.001.4	W8	1200	1810	opening - 00:00
HeadLum.Cool	W15.342.001.4	W1	1800	1810	opening - 00:00
HeadLum.Cool	W15.342.001.4	W2	2400	1810	opening - 00:00
HeadLum.Cool	W15.342.001.4	W5	600	1200	opening - 00:00
HeadLum.Cool	W15.342.001.4	W8	1200	1810	opening - 00:00
HeadLum.Cool	W15.342.001.4	W1	1800	1810	opening - 00:00
HeadLum.Cool	W15.342.001.4	W2	2400	1810	opening - 00:00
HeadLum.Cool	W15.342.001.4	W5	600	1200	opening - 00:00
HeadLum.Cool	W15.342.001.4	W8	1200	1810	opening - 00:00
HeadLum.Cool	W15.342.001.4	W1	1800	1810	opening - 00:00
HeadLum.Cool	W15.342.001.4	W2	2400	1810	opening - 00:00
HeadLum.Cool	W15.342.001.4	W5	600	1200	opening - 00:00
HeadLum.Cool	W15.342.001.4	W8	1200	1810	opening - 00:00
HeadLum.Cool	W15.342.001.4	W1	1800	1810	opening - 00:00
HeadLum.Cool	W15.342.001.4	W2	2400	1810	opening - 00:00
HeadLum.Cool	W15.342.001.4	W5	600	1200	opening - 00:00
HeadLum.Cool	W15.342.001.4	W8	1200	1810	opening - 00:00
HeadLum.Cool	W15.342.001.4	W1	1800	1810	opening - 00:00
HeadLum.Cool	W15.342.001.4	W2	2400	1810	opening - 00:00
HeadLum.Cool	W15.342.001.4	W5	600	1200	opening - 00:00
HeadLum.Cool	W15.342.001.4	W8	1200	1810	opening - 00:00
HeadLum.Cool	W15.342.001.4	W1	1800	1810	opening - 00:00
HeadLum.Cool	W15.342.001.4	W2	2400	1810	opening - 00:00
HeadLum.Cool	W15.342.001.4	W5	600	1200	opening - 00:00
HeadLum.Cool	W15.342.001.4	W8	1200	1810	opening - 00:00
HeadLum.Cool	W15.342.001.4	W1	1800	1810	opening - 00:00
HeadLum.Cool	W15.342.001.4	W2	2400	1810	opening - 00:00
HeadLum.Cool	W15.342.001.4	W5	600	1200	opening - 00:00
HeadLum.Cool	W15.342.001.4	W8	1200	1810	opening - 00:00
HeadLum.Cool	W15.342.001.4	W1	1800	1810	opening - 00:00
HeadLum.Cool	W15.342.001.4	W2	2400	1810	opening - 00:00
HeadLum.Cool	W15.342.001.4	W5	600	1200	opening - 00:00
HeadLum.Cool	W15.342.001.4	W8	1200	1810	opening - 00:00
HeadLum.Cool	W15.342.001.4	W1	1800	1810	opening - 00:00
HeadLum.Cool	W15.342.001.4	W2	2400	1810	opening - 00:00
HeadLum.Cool	W15.342.001.4	W5	600	1200	opening - 00:00
HeadLum.Cool	W15.342.001.4	W8	1200	1810	opening - 00:00
HeadLum.Cool	W15.342.001.4	W1	1800	1810	opening - 00:00
HeadLum					

7571714348 Numbler Database		7 Star Rating as of 13 Jan 2020								
Windows ID	Windows description	Maximum length	ISO4217	ISO4217 currency	ISO4217 alpha 3					
No Data Available										
<b>Root window's schedule</b>										
Location	Windows no.	Opening Area sq. ft.	Width inches	Orientation	Outside shades					
No Data Available										
<b>Skylight's type and performance</b>										
Location	Skylight description		Skylight self-sufficiency							
No Data Available										
<b>Skylight's schedule</b>										
Location	Skylight ID	Skylight No.	Skylight length inches	Area sq. ft.	Outside shades					
No Data Available										
<b>External door schedule</b>										
Location	Door ID	Door No.	Opening sq. ft.	Orientation	Outside shades					
Usage	Usage	Usage	Usage	Usage	Usage					
Door Number	Door No.	Door No.	Door No.	Door No.	Door No.					
<b>External wall type</b>										
Wall ID	Wall description	Size square feet	Wall shape [inches]	Wall thickness	Reflexion wall usage					
1 BR - Brick Veneer - R2.0										
1	BR - Brick Veneer	0.0	Rect	0.0	No					
2	BR - Brick Veneer	0.0	Aluminum	0.0	No					
3	BR - Brick Veneer	0.0	0.0	0.0	No					
4 BR - Brick Veneer - R2.0?										
4	BR - Brick Veneer	0.0	0.0	0.0	No					
5 BR - Brick Veneer - R2.0?										
5	BR - Brick Veneer	0.0	0.0	0.0	No					
6 BR - Brick Veneer - R2.0?										
6	BR - Brick Veneer	0.0	0.0	0.0	No					
7 F.C. - Fiberglass Insulated - R2.0?										
7	F.C. - Fiberglass Insulated	0.0	0.0	0.0	No					
<b>External wall schedule</b>										
Location	Wall ID	Height feet	Orientation	Horizontal projection feet	Vertical projection feet					
Usage	Usage	Usage	Usage	Usage	Usage					
Wall Number	Wall No.	Wall No.	Wall No.	Wall No.	Wall No.					
No Data Available										

PT222W44/Nonstick Ducttape		7 Star Rating of 13 Jan 2018			
Orange	3	2625	3281	NE	Yes
Office	4	2702	3009	NE	Yes
Personal	4	2702	3238	NE	Yes
Personal	5	2702	1058	SE	Yes
Personal	5	2702	3798	NE	1383
Personal	4	2702	3009	NE	Yes
Plastic	4	2702	1486	SE	Yes
Personal	5	2702	2461	SE	1628
Kitchen/Living	4	2702	4422	SE	Yes
Kitchen/Living	4	2702	2759	SW	Yes
Kitchen/Living	4	2702	4170	SW	695
Kitchen/Living	4	2702	5244	SW	2933
Personal	5	2702	3238	SE	Yes
Personal Room 2	6	2702	3613	SW	No
Personal Room 1	6	2702	2961	SE	Yes
Personal Room 1	6	2702	3238	SE	Yes
Personal Room 1	6	2702	1261	SW	Yes
Personal Room 1	6	2702	3238	SE	Yes
Personal Room	6	2702	6805	SW	No
Personal Room	6	2702	3367	SW	Yes
Personal Room	6	2702	3622	SW	Yes
Suburban 3	7	2702	3013	SW	645
Suburban 3	7	2702	1767	SW	Yes
Suburban 3	7	2702	853	SE	440
Suburban 3	7	2702	3238	SW	435
Suburban 3	7	2702	3238	SW	441
Suburban 2	7	2702	3639	SE	425
Suburban 1	7	2702	3238	SE	425
Stirling	7	2702	1014	NE	2021
Stirling	7	2702	4795	SW	442
Stirling	7	2702	850	SW	448
Stirling	7	2702	2404	SW	435
Stirling 1	7	2702	2805	NE	418
Stirling 1	7	2702	2805	NE	418
Stirling 1	7	2702	2805	NE	417
Stirling 1	7	2702	2161	SE	418

Internal wall type

Made in Australia  
 Manufactured in China using technology: U.S. 5,570,375 B2; EP 1,972,101 A2; US 5,262,806 A2; Canada 2,108,119 A2

Page 6 of 8

[illegible]

F7574HEM - NUMBER Continue			7 Star Rating as of 12 Jan 2023		
Door Bath	COBOD - COBOD Bath on 1st Floor	0.0	Excellent	97.0	Yes
Restroom 2	1st Floor - Alpha Systems Intermittent Floor	0.7	Excellent	97.0	Yes
Restroom 3	1st Floor - Alpha Systems Intermittent Floor	1.1	Excellent	97.0	Yes
Restroom 4	1st Floor - Alpha Systems Intermittent Floor	0.6	Excellent	97.0	Yes
Restroom 5	1st Floor - Alpha Systems Intermittent Floor	0.2	Excellent	97.0	Yes
Restroom 6	1st Floor - Alpha Systems Intermittent Floor	1.0	Excellent	97.0	Yes
Restroom 7	1st Floor - Alpha Systems Intermittent Floor	3	Excellent	97.0	Yes
Shower	1st Floor - Alpha Systems Intermittent Floor	2.9	Excellent	97.0	Yes
Shower	1st Floor - Alpha Systems Intermittent Floor	7.1	Excellent	97.0	Yes
Shower	1st Floor - Alpha Systems Intermittent Floor	1.7	Excellent	97.0	Yes
Shower	1st Floor - Alpha Systems Intermittent Floor	18.3	Excellent	97.0	Yes
Shower	1st Floor - Alpha Systems Intermittent Floor	9.0	Excellent	97.0	Yes
Restroom 1	1st Floor - Alpha Systems Intermittent Floor	1.6	Excellent	97.0	Yes
Restroom 1	1st Floor - Alpha Systems Intermittent Floor	10.8	Excellent	97.0	Yes
Bath	1st Floor - Alpha Systems Intermittent Floor	2.8	Excellent	97.0	Yes
Bath	1st Floor - Alpha Systems Intermittent Floor	1	Excellent	97.0	Yes
Entrance	1st Floor - Alpha Systems Intermittent Floor	3.9	Excellent	97.0	Yes
Entrance	1st Floor - Alpha Systems Intermittent Floor	0.9	Excellent	97.0	Yes
Celling					
Location	Construction MaterialType		Both Includes Both		Refuge Type
Storage	1st Floor Alpha Systems Intermittent Floor	92.0			Yes

[illegible][illegible]

TTC22646-NaniteES Certificate		7 Star Rating as of 13 Jan 2024		
<b>Hot water system</b>				
<b>Appliance system type</b>	<b>Fuel type</b>	<b>Minimum efficiency/performance</b>	<b>Hot Water CED Zone Zone 3 ETC</b>	<b>Assessed duty rate</b>
No Whole of Home performance assessment conducted for this certificate.				
<b>Pumpkin separator</b>				
<b>Appliance system type</b>	<b>Fuel type</b>	<b>Minimum efficiency/performance</b>	<b>Recommended capacity</b>	
No Whole of Home performance assessment conducted for this certificate.				
<b>Create renewable energy schedule</b> <i>(not applicable if a Whole of Home performance assessment is not conducted for this certificate)</i>				
<b>System type</b>	<b>Orientation</b>	<b>System size or generation capacity</b>		
No Whole of Home performance assessment conducted for this certificate.				
<b>Battery schedule</b> <i>(not applicable if a Whole of Home performance assessment is not conducted for this certificate)</i>				
<b>Size</b> <i>(no Whole of Home performance assessment conducted for this certificate)</i>				
<b>Size (Battery storage capacity)</b>				
No Whole of Home performance assessment conducted for this certificate.				

**Made in glassport**  
*Certificate ID: L-001-0000-PDF#0000-1.0.0-0.00-00 for ALD/PDF#0000-1.0.0-0000, 1st St Dennis Drive, Lakeside, NSW 2106*

[illegible][illegible]



[illegible][illegible]

ECOSYSTEM BUSINESS Conflicture

7 star Rating as of 13 Jan 2016

## Certificate check

Students are required to complete the following checklist and submit it to the instructor for the security of the entire certificate of award.

To be filled in: these checkboxes must be filled out by each student.

Certificate check	Approved star		Disapproved star	
	Approved	Disapproved	Disapproved	Approved
<b>Describe certificate</b>				
Describe the certificate in your own words. It should be available at the end of each class of each certificate. Is the certificate?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Describe the certificate in your own words. It should be available at the end of each class of each certificate. Is the certificate?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>Thermal performance</b>				
Describe the certificate in your own words. It should be available at the end of each class of each certificate. Is the certificate?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Describe the certificate in your own words. It should be available at the end of each class of each certificate. Is the certificate?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>External work</b>				
Describe the certificate in your own words. It should be available at the end of each class of each certificate. Is the certificate?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Describe the certificate in your own words. It should be available at the end of each class of each certificate. Is the certificate?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>Heat</b>				
Describe the certificate in your own words. It should be available at the end of each class of each certificate. Is the certificate?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Describe the certificate in your own words. It should be available at the end of each class of each certificate. Is the certificate?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>Cooling</b>				
Describe the certificate in your own words. It should be available at the end of each class of each certificate. Is the certificate?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Describe the certificate in your own words. It should be available at the end of each class of each certificate. Is the certificate?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>Heat</b>				
Describe the certificate in your own words. It should be available at the end of each class of each certificate. Is the certificate?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Describe the certificate in your own words. It should be available at the end of each class of each certificate. Is the certificate?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>Approved</b>				
Describe the certificate in your own words. It should be available at the end of each class of each certificate. Is the certificate?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Describe the certificate in your own words. It should be available at the end of each class of each certificate. Is the certificate?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>Approved</b>				
Describe the certificate in your own words. It should be available at the end of each class of each certificate. Is the certificate?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Describe the certificate in your own words. It should be available at the end of each class of each certificate. Is the certificate?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

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ECOPROF BUSINESS Certificate

7 Star Rating as of 12 Jun 2021

## Room schedule

Room	Zone Type	Area (m <sup>2</sup> )
Corridor	corridor	25
Office	office	11.4
Platform	day/night	4.1
Reception	day/night	20.4
Planting	day/night	2
Reception Lobby	reception	40.3
Reception Lobby	Reception	4.7
Reception	Reception	6.1
Reception	Reception	1.1
Reception Lobby	day/night	1.1
Reception	day/night	6.5
Reception 2	Reception	12.8
Reception 3	Reception	10.4
Reception	Reception	8.4
Study	Study	2.9
Waiting	Study	2.9
Waiting	Study	3.6
Waiting	Study	23.2
Bank	Bank	4.4
Entrance	day/night	4.4

## Window and glass door type and performance

Default window

Window ID	Window description	Maximum U-value (W/m <sup>2</sup> ·K)	Maximum Solar Heat Gain Coefficient (SHGC)	Transmission Heat Loss SHGC Upper bound
Current window				
Window ID	Window description	Maximum U-value (W/m <sup>2</sup> ·K)	Maximum Solar Heat Gain Coefficient (SHGC)	Transmission Heat Loss SHGC Upper bound
WIN-201-001-A	As Specimen Window Without Glass	1.75	0.00	0.00
WIN-201-002-A	As Specimen Window With Glass	2.19	0.64	0.67
WIN-201-003-A	As Specimen Window (Glass Type 1) with 4mm Air Gap	0.98	0.47	0.49
WIN-201-004-A	As Specimen Window (Glass Type 2) with 4mm Air Gap	0.98	0.28	0.31
WIN-201-005-A	As Specimen Window (Glass Type 3) with 4mm Air Gap	2.97	0.49	0.51


\*This is a summary of the information provided in the ECOPROF report. For full details, please refer to the ECOPROF report, dated 12 Jun 2021, 12:30, located here: [Landscape, 2016 - 2100](#)

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BACHINGER UNIVERSITÄT Conferences		7 Star Rating and 13 Jan. 2019					
Location	Website ID	Where to	Opening Date	Width [mm]	Orientation	Children seats	Winter season
No Date Available							
<b>Skigylt</b> type and performance		Skigylt description		Skigylt child-relevance			
No Date Available							
<b>Skigylt</b> schedule							
Location	Skigylt ID	Skigylt name	Length [m]	Area [km²]	Current altitude	Outside	Different
Location	Website						
<b>External door schedule</b>							
Location	Height [mm]	Width [mm]	Opening W	Orientation			
Garage	2300	2000	100.0	No			
<b>External wall type</b>							
Wall ID	Wall type	Ratio absorption	Wall shape [m²]	Ratio insulation	Reflection wall	Ratio	
1	BB - Black Mirror - R10.0	0.0	0.0	0.0	No	0.0	
2	BB - Black Mirror - R10.0	0.0	0.0	0.0	No	0.0	
3	BB - Black Mirror - R10.0	0.0	0.0	0.0	No	0.0	
4	BB - Black Mirror - R10.0	0.0	0.0	0.0	No	0.0	
5	BB - Black Mirror - R10.0	0.0	0.0	0.0	No	0.0	
6	BB - Black Mirror - R10.0	0.0	0.0	0.0	No	0.0	
7	BB - Black Mirror - R10.0	0.0	0.0	0.0	No	0.0	
8	BB - Black Mirror - R10.0	0.0	0.0	0.0	No	0.0	
9	BB - Black Mirror - R10.0	0.0	0.0	0.0	No	0.0	
10	BB - Black Mirror - R10.0	0.0	0.0	0.0	No	0.0	
11	BB - Black Mirror - R10.0	0.0	0.0	0.0	No	0.0	
12	BB - Black Mirror - R10.0	0.0	0.0	0.0	No	0.0	
13	BB - Black Mirror - R10.0	0.0	0.0	0.0	No	0.0	
14	BB - Black Mirror - R10.0	0.0	0.0	0.0	No	0.0	
15	BB - Black Mirror - R10.0	0.0	0.0	0.0	No	0.0	
16	BB - Black Mirror - R10.0	0.0	0.0	0.0	No	0.0	
17	BB - Black Mirror - R10.0	0.0	0.0	0.0	No	0.0	
18	BB - Black Mirror - R10.0	0.0	0.0	0.0	No	0.0	
19	BB - Black Mirror - R10.0	0.0	0.0	0.0	No	0.0	
20	BB - Black Mirror - R10.0	0.0	0.0	0.0	No	0.0	
21	BB - Black Mirror - R10.0	0.0	0.0	0.0	No	0.0	
22	BB - Black Mirror - R10.0	0.0	0.0	0.0	No	0.0	
23	BB - Black Mirror - R10.0	0.0	0.0	0.0	No	0.0	
24	BB - Black Mirror - R10.0	0.0	0.0	0.0	No	0.0	
25	BB - Black Mirror - R10.0	0.0	0.0	0.0	No	0.0	
26	BB - Black Mirror - R10.0	0.0	0.0	0.0	No	0.0	
27	BB - Black Mirror - R10.0	0.0	0.0	0.0	No	0.0	
28	BB - Black Mirror - R10.0	0.0	0.0	0.0	No	0.0	
29	BB - Black Mirror - R10.0	0.0	0.0	0.0	No	0.0	
30	BB - Black Mirror - R10.0	0.0	0.0	0.0	No	0.0	
31	BB - Black Mirror - R10.0	0.0	0.0	0.0	No	0.0	
32	BB - Black Mirror - R10.0	0.0	0.0	0.0	No	0.0	
33	BB - Black Mirror - R10.0	0.0	0.0	0.0	No	0.0	
34	BB - Black Mirror - R10.0	0.0	0.0	0.0	No	0.0	
35	BB - Black Mirror - R10.0	0.0	0.0	0.0	No	0.0	
36	BB - Black Mirror - R10.0	0.0	0.0	0.0	No	0.0	
37	BB - Black Mirror - R10.0	0.0	0.0	0.0	No	0.0	
38	BB - Black Mirror - R10.0	0.0	0.0	0.0	No	0.0	
39	BB - Black Mirror - R10.0	0.0	0.0	0.0	No	0.0	
40	BB - Black Mirror - R10.0	0.0	0.0	0.0	No	0.0	
41	BB - Black Mirror - R10.0	0.0	0.0	0.0	No	0.0	
42	BB - Black Mirror - R10.0	0.0	0.0	0.0	No	0.0	
43	BB - Black Mirror - R10.0	0.0	0.0	0.0	No	0.0	
44	BB - Black Mirror - R10.0	0.0	0.0	0.0	No	0.0	

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ECOCERTIFIED NATURE Certificate		7 Star Rating as of 13 Jan 2024	
No Whole of Home performance assessment conducted for this certificate.			
<b>Omnia renewable energy schedule</b> <i>(see table below if a Whole of Home performance assessment is not conducted for this certificate)</i>			
System type	Orientation	System size or generation capacity	
No Whole of Home performance assessment conducted for this certificate.			
<b>Battery schedule</b> <i>(see table below if a Whole of Home performance assessment is not conducted for this certificate)</i>			
System type	Size (battery storage capacity)		
No Whole of Home performance assessment conducted for this certificate.			

<b>SCOPING QUESTIONS</b>	<b>Exploratory Notes</b>	<b>7</b>	<b>8</b>	<b>9</b>	<b>10</b>	<b>11</b>	<b>12</b>	<b>13</b>	<b>14</b>	<b>15</b>	<b>16</b>	<b>17</b>	<b>18</b>	<b>19</b>	<b>20</b>	<b>21</b>	<b>22</b>	<b>23</b>	<b>24</b>	<b>25</b>	<b>26</b>	<b>27</b>	<b>28</b>	<b>29</b>	<b>30</b>	<b>31</b>	<b>32</b>	<b>33</b>	<b>34</b>	<b>35</b>	<b>36</b>	<b>37</b>	<b>38</b>	<b>39</b>	<b>40</b>	<b>41</b>	<b>42</b>	<b>43</b>	<b>44</b>	<b>45</b>	<b>46</b>	<b>47</b>	<b>48</b>	<b>49</b>	<b>50</b>	<b>51</b>	<b>52</b>	<b>53</b>	<b>54</b>	<b>55</b>	<b>56</b>	<b>57</b>	<b>58</b>	<b>59</b>	<b>60</b>	<b>61</b>	<b>62</b>	<b>63</b>	<b>64</b>	<b>65</b>	<b>66</b>	<b>67</b>	<b>68</b>	<b>69</b>	<b>70</b>	<b>71</b>	<b>72</b>	<b>73</b>	<b>74</b>	<b>75</b>	<b>76</b>	<b>77</b>	<b>78</b>	<b>79</b>	<b>80</b>	<b>81</b>	<b>82</b>	<b>83</b>	<b>84</b>	<b>85</b>	<b>86</b>	<b>87</b>	<b>88</b>	<b>89</b>	<b>90</b>	<b>91</b>	<b>92</b>	<b>93</b>	<b>94</b>	<b>95</b>	<b>96</b>	<b>97</b>	<b>98</b>	<b>99</b>	<b>100</b>	<b>101</b>	<b>102</b>	<b>103</b>	<b>104</b>	<b>105</b>	<b>106</b>	<b>107</b>	<b>108</b>	<b>109</b>	<b>110</b>	<b>111</b>	<b>112</b>	<b>113</b>	<b>114</b>	<b>115</b>	<b>116</b>	<b>117</b>	<b>118</b>	<b>119</b>	<b>120</b>	<b>121</b>	<b>122</b>	<b>123</b>	<b>124</b>	<b>125</b>	<b>126</b>	<b>127</b>	<b>128</b>	<b>129</b>	<b>130</b>	<b>131</b>	<b>132</b>	<b>133</b>	<b>134</b>	<b>135</b>	<b>136</b>	<b>137</b>	<b>138</b>	<b>139</b>	<b>140</b>	<b>141</b>	<b>142</b>	<b>143</b>	<b>144</b>	<b>145</b>	<b>146</b>	<b>147</b>	<b>148</b>	<b>149</b>	<b>150</b>	<b>151</b>	<b>152</b>	<b>153</b>	<b>154</b>	<b>155</b>	<b>156</b>	<b>157</b>	<b>158</b>	<b>159</b>	<b>160</b>	<b>161</b>	<b>162</b>	<b>163</b>	<b>164</b>	<b>165</b>	<b>166</b>	<b>167</b>	<b>168</b>	<b>169</b>	<b>170</b>	<b>171</b>	<b>172</b>	<b>173</b>	<b>174</b>	<b>175</b>	<b>176</b>	<b>177</b>	<b>178</b>	<b>179</b>	<b>180</b>	<b>181</b>	<b>182</b>	<b>183</b>	<b>184</b>	<b>185</b>	<b>186</b>	<b>187</b>	<b>188</b>	<b>189</b>	<b>190</b>	<b>191</b>	<b>192</b>	<b>193</b>	<b>194</b>	<b>195</b>	<b>196</b>	<b>197</b>	<b>198</b>	<b>199</b>	<b>200</b>	<b>201</b>	<b>202</b>	<b>203</b>	<b>204</b>	<b>205</b>	<b>206</b>	<b>207</b>	<b>208</b>	<b>209</b>	<b>210</b>	<b>211</b>	<b>212</b>	<b>213</b>	<b>214</b>	<b>215</b>	<b>216</b>	<b>217</b>	<b>218</b>	<b>219</b>	<b>220</b>	<b>221</b>	<b>222</b>	<b>223</b>	<b>224</b>	<b>225</b>	<b>226</b>	<b>227</b>	<b>228</b>	<b>229</b>	<b>230</b>	<b>231</b>	<b>232</b>	<b>233</b>	<b>234</b>	<b>235</b>	<b>236</b>	<b>237</b>	<b>238</b>	<b>239</b>	<b>240</b>	<b>241</b>	<b>242</b>	<b>243</b>	<b>244</b>	<b>245</b>	<b>246</b>	<b>247</b>	<b>248</b>	<b>249</b>	<b>250</b>	<b>251</b>	<b>252</b>	<b>253</b>	<b>254</b>	<b>255</b>	<b>256</b>	<b>257</b>	<b>258</b>	<b>259</b>	<b>260</b>	<b>261</b>	<b>262</b>	<b>263</b>	<b>264</b>	<b>265</b>	<b>266</b>	<b>267</b>	<b>268</b>	<b>269</b>	<b>270</b>	<b>271</b>	<b>272</b>	<b>273</b>	<b>274</b>	<b>275</b>	<b>276</b>	<b>277</b>	<b>278</b>	<b>279</b>	<b>280</b>	<b>281</b>	<b>282</b>	<b>283</b>	<b>284</b>	<b>285</b>	<b>286</b>	<b>287</b>	<b>288</b>	<b>289</b>	<b>290</b>	<b>291</b>	<b>292</b>	<b>293</b>	<b>294</b>	<b>295</b>	<b>296</b>	<b>297</b>	<b>298</b>	<b>299</b>	<b>300</b>	<b>301</b>	<b>302</b>	<b>303</b>	<b>304</b>	<b>305</b>	<b>306</b>	<b>307</b>	<b>308</b>	<b>309</b>	<b>310</b>	<b>311</b>	<b>312</b>	<b>313</b>	<b>314</b>	<b>315</b>	<b>316</b>	<b>317</b>	<b>318</b>	<b>319</b>	<b>320</b>	<b>321</b>	<b>322</b>	<b>323</b>	<b>324</b>
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