BASIX COMMITMENTS AREAS CALCULATION FOR DA LIGHTING IN ACCORD. WITH BASIX CERT. PROVIDED. NOTE: GFA MEASURED FROM INSIDE OF EXTERNAL FIXTURES IN ACCORD, WITH BASIX CERT, PROVIDED PLANS TO BE IN WALLS, EXCLUDING GARAGE SPACES AND VOIDS WINDOWS IN ACCORD WITH BASIX CERT. PROVIDED ACCORDANCE WITH NCC 2022 VOLUME 2 BUILDING GLAZED DOORS IN ACCORD WITH BASIX CERT, PROVIDED. COUNCIL - CANTERBURY-BANKSTOWN COUNCIL LANDSCAPE IN ACCORD. WITH BASIX CERT. PROVIDED. RAINWATER TANK IN ACCORD. WITH BASIX CERT. PROVIDED. ODE OF AUSTRALIA 2022 DP NUMBER 321050 HOT WATER IN ACCORD, WITH BASIX CERT, PROVIDED. STANDARD HEATING, COOLING & VENTILATION IN ACCORD, WITH BASIX CERT, PROVIDED. TOTAL LOT AREA 873.4m² ARTIFICIAL & NATURAL LIGHTING IN ACCORD, WITH BASIX CERT, PROVIDED. PROPOSED SITE AREA - LOT 1 448.01m² **GENERAL ABBREVIATION** PROPOSED SITE AREA - LOT 2 425.42m² AR COND. SYSTEM CONCRETE FLOOR OBSCURE WINDOW CONC GFA CALCULATION as per CANTERBURY -FIBRE CEMENT CLEAR WINDOW DP ED DOWN PIPE RB1 RENDERED BRICK TYPE 1 BANKSTOWN LEP/DCP 2023 ENTRY DOOR RWT RAIN WATER TANK FACE BRICK TILE TYPES UNIT 1 TOTAL GFA 172,88m² FIXED WINDOW SLIDING DOOR GD GARAGE DOOR SMOKE ALARM UNIT 2 TOTAL GFA 172.88m² GLD LAMIN GLAZED DOOR LAMINATED FLOOR MECHANICAL VENTILATION LETTER BOX GRANNY GFA 59.53m² SHEETS LIST STUDIO GFA 29.88m² TOTAL FSR = 0.5:1 ALLOWED 436.7m² Sheet Name Page TITLE SHEET 00 TOTAL PROPOSED GFA 435.17m² SITE PLAN 01 **ROOF PLAN** 02 357.86m² TOTAL LANDSCAPED AREA 40.97% DEMOLITION PLAN 03 24.0m² PRIVATE OPEN SPACE- UNIT1 (MIN 16.0m²) SUBDIVISION PLAN 04 PRIVATE OPEN SPACE- UNIT2 (MIN 16.0m²) 24.0m² AREAS CALCULATION 05 TOTAL BUILDING HEIGHT UNIT 1 (MAX 8.5m) 6.983 **GROUND FLOOR PLAN** 06 TOTAL BUILDING HEIGHT UNIT 2 (MAX 8.5m) 7.1m FIRST FLOOR PLAN 07 AREAS CALCULATION SIDE ELEVATIONS - UNIT 1 08 SIDE ELEVATIONS - UNIT 2 09 Leve Name Area FRONT AND REAR ELEVATIONS 10 U2 GROUND FLOOR **GRANNY GFA** 59.53 m² U2 GROUND FLOOR STUDIO 29,88 m² LONG SECTIONS 11 U2 FIRST FLOOR U1 - GFA 82.01 m² CROSS SECTIONS 12 U2 GROUND FLOOR U1 - GFA 90.87 m² LANDSCAPE PLAN 13 U2 FIRST FLOOR U2 - GFA 82.01 m² LANDSCAPE DETAILS 14 U2 - GFA U2 GROUND FLOOR 90 87 m² TOTAL 435.16 m² ONGOING MAINTENANCE LANDSCAPE PLAN 15 STANDARD SPECIFICATION 16 LANDSCAPE AREAS BCA NOTES 17 FRONT LANDSCAPE 54.89 m² DESIGN SAFETY NOTES 18 REAR LANDSCAPE 302.98 m² NOTIFICATION PLAN 19 TOTAL LANDSCAPE 357.86 m² NOTIFICATION PLAN GRANNY 19.1 NOTIFICATION PLAN STUDIO 19.2 BASIX CERTIFICATE 20 SEDIMENT AND EROSION PLAN 21 SHADOW DIAGRAMS 8AM - 10AM 22 SHADOW DIAGRAMS 11AM - 1PM 22.1 SHADOW DIAGRAMS 2PM - 4PM 22.2 SCHEDULE OF FINISH 23 24 UNIT 1 NatHERS UNIT 2 NatHERS 25 THE FOLLOWING STANDARDS MAY BE REFERRED TO IN THIS DRAWING: AS 1286 GLASS IN BUILDINGS - SELECTION AND INSTALLATION 4.TOLOUTES INFORMATION TO THE THE PROPERTY AND LOCATION TO THE PROPERTY AN YOU DIG eco factor Pty Ltd MEMBER: eco.factor Design Solutions SUITE 1, LEVEL 2, 215-219 GEORGE ST., LIVERPOOL This drawing is the property of ECO.FACTOR PTY LTD and shall not be used in full or in part without consent of ECO.FACTOR PTY LTD - Figured dimensions are to take preference over scaled dimensions. - Bullder shall be held responsible to verify all dimensions/levels on site &

notify any discrepancy to ECO.FACTOR PTY LTD

All materials are to be used in accordance with manufacturer's specification.

and instructions and to comply with relevant Australian Standards

			DC	ORS	LIST UNIT1
	Mark	Total Open Width	Leaf Width	Height	Description
	.D1	900	820	2400	GLASS FLUSH DOOR
	.D1g	1000		2340	ENTRY TIMBER DOOR
2	.D2	2500		2300	GARAGE DOOR PANEL
2	.D2g	900	820	2400	TIMBER FLUSH DOOR
_	.D3	800	720	2400	TIMBER CAVITY DOOR
	.D3g	800	720	2400	TIMBER FLUSH DOOR
2	.D4	800	720	2400	TIMBER FLUSH DOOR
2	.D4g	900	820	2400	TIMBER FLUSH DOOR
	.D5	900	820	2400	TIMBER FLUSH DOOR
	.D5g	2410		2400	ALUMINIUM SLIDING DOOR
_	.D6	2710		2400	ALUMINIUM BIFOLD DOOR
2	.D7	1810		2400	ALUMINIUM SLIDING DOOR
_	.D8	800	720	2400	TIMBER FLUSH DOOR
=	.D9	900	820	2400	TIMBER FLUSH DOOR
	.D10	800	720	2400	TIMBER FLUSH DOOR
	.D11	900	820	2400	TIMBER FLUSH DOOR
	.D12	900	820	2400	TIMBER FLUSH DOOR
	.D13	900	820	2400	TIMBER FLUSH DOOR
_			DC	ORS	LIST UNIT2
- 1					

Mark	Total Open Width	Leaf Width	Height	Description
D1	900	820	2400	GLASS FLUSH DOOR
D1s	1510		2400	ALUMINIUM SLIDING DOOR
D2	2500		2300	GARAGE DOOR PANEL
D2s	1200		2400	TIMBER DOUBLE FLUSH DOOR
D3	800	720	2400	TIMBER CAVITY DOOR
D3s	800	720	2400	TIMBER FLUSH DOOR
D4	800	720	2400	TIMBER FLUSH DOOR
D4s	900	820	2400	TIMBER FLUSH DOOR
D5	900	820	2400	TIMBER FLUSH DOOR
D6	2710		2400	ALUMINIUM BIFOLD DOOR
D7	1810		2400	ALUMINIUM SLIDING DOOR
D8	800	720	2400	TIMBER FLUSH DOOR
D9	900	820	2400	TIMBER FLUSH DOOR
D10	800	720	2400	TIMBER FLUSH DOOR
D11	900	820	2400	TIMBER FLUSH DOOR
D12	900	820	2400	TIMBER FLUSH DOOR
D13	900	820	2400	TIMBER FLUSH DOOR
		•	•	

			VVII	ADOM	2 FI21 ONLI	1	
Mark	Width	Height	Sill	Head	Frame	Opening	GLASS
.W1	1810	1800	600	2400	ALUMINIUM	SLIDING	
.W1g	850	1800	600	2400	ALUMINIUM	AWNING	
.W2	1210	2100	300	2400	ALUMINIUM	FIXED	
.W2g	1210	600	1800	2400	ALUMINIUM	SLIDING	
.W3	1810	1200	1200	2400	ALUMINIUM	SLIDING	
.W3g	1510	1200	1200	2400	ALUMINIUM	SLIDING	
.W4	1810	600	900	1500	ALUMINIUM	SLIDING	
.W4g	1510	1200	1200	2400	ALUMINIUM	SLIDING	
.W5	1210	600	900	1500	ALUMINIUM	SLIDING	
.W5g	850	800	1600	2400	ALUMINIUM	SLIDING	OBSCURE
.W6	1810	1200	1200	2400	ALUMINIUM	SLIDING	
.W6g	1510	1200	1200	2400	ALUMINIUM	SLIDING	
.W7	1000		1400	1400	ALUMINIUM	FIXED	
.W8	1810	900	1500	2400	ALUMINIUM	SLIDING	
.W9	1810	900	1500	2400	ALUMINIUM	SLIDING	
.W10	1810	900	1500	2400	ALUMINIUM	SLIDING	
.W11	1810	600	1800	2400	ALUMINIUM	SLIDING	
.W12	850	800	1600	2400	ALUMINIUM	SLIDING	OBSCURE
.W13	850	800	1600	2400	ALUMINIUM	SLIDING	OBSCURE
.W14	1810	600	1800	2400	ALUMINIUM	SLIDING	
			WII	NDOW	'S LIST UNIT	2	

WINDOWS LIST LINIT1

				ΝIN	NDOW	S LIST UNIT	2	
	Mark	Width	Height	Sill	Head	Frame	Opening	GLASS
	W1	1810	1800	600	2400	ALUMINIUM	SLIDING	
	W1s	850	800	1600	2400	ALUMINIUM	SLIDING	OBSCURE
	W2	1210	2100	300	2400	ALUMINIUM	FIXED	
	W2s	1510	1200	1200	2400	ALUMINIUM	SLIDING	
	W3	1810	1200	1200	2400	ALUMINIUM	SLIDING	
	W3s	1510	1200	1200	2400	ALUMINIUM	SLIDING	
	W4	1810	600	900	1500	ALUMINIUM	SLIDING	
	W4s	1510	1200	1200	2400	ALUMINIUM	SLIDING	
	W5	1210	600	900	1500	ALUMINIUM	SLIDING	
	W6	1810	1200	1200	2400	ALUMINIUM	SLIDING	
	W7	1000		1400	1400	ALUMINIUM	FIXED	
	W8	1810	900	1500	2400	ALUMINIUM	SLIDING	
	W9	1810	900	1500	2400	ALUMINIUM	SLIDING	
	W10	1810	900	1500	2400	ALUMINIUM	SLIDING	
	W11	1810	600	1800	2400	ALUMINIUM	SLIDING	
_	W12	850	800	1600	2400	ALUMINIUM	SLIDING	OBSCURE
	W13	850	800	1600	2400	ALUMINIUM	SLIDING	OBSCURE
	W14	1810	600	1800	2400	ALUMINIUM	SLIDING	

2170, NSW, Australia. P: 1300 326 322 info@ecofactor.com.au www.ecofactor.com.au



TAG SYMBOLS W# WINDOW TAG DO NOT SCALE, USE FISURED DIMENSIONS ONLY, VERIFY ALL LEVELS AND DIMENSIONS ON SITE BEFORE COMMENCING CONSTRUCTION, FABRICATION, OR SHOP DRAWINGS.

₩ WALL TAG D# DOOR TAG



BUILDAID CONSULTING SERVICES

DEMOLITION OF EXISTING DWELLING AND CONSTRUCTION OF NEW SEMI - ATTACHED DUAL OCCUPANCY DOUBLE STOREY WITH GRANNY AND STUDIO AT REAR

35 DENNIS STREET LAKEMBA 2195 NSW

DA PACKAGE

DRAWINGTITLE TITLE SHEET

SCALE

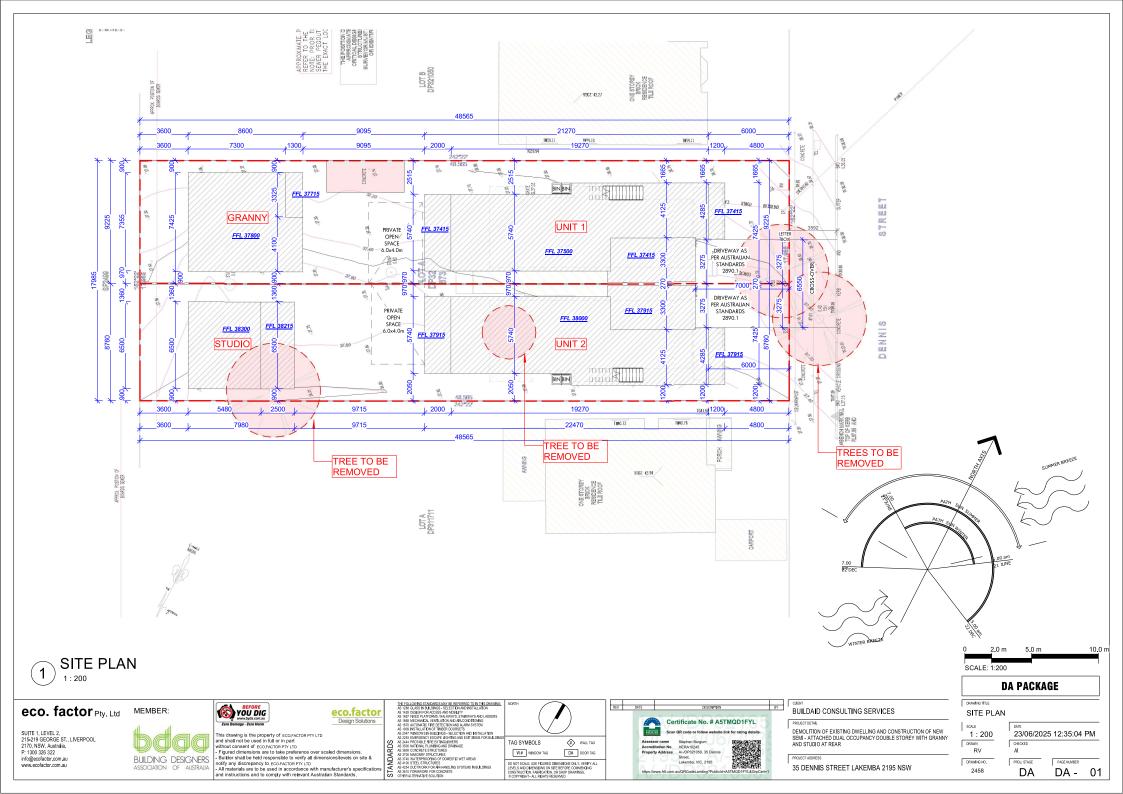
23/06/2025 12:35:03 PM

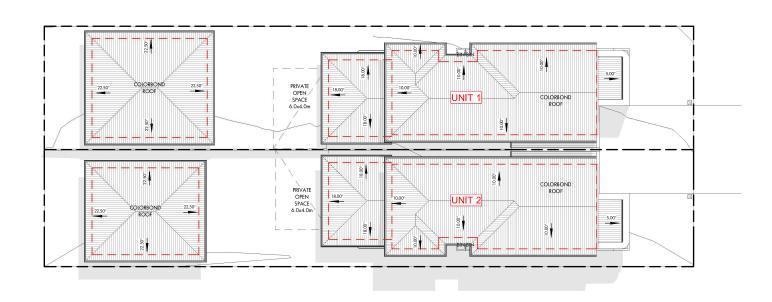
RV DRAWING NO 2458

DA

00

DA -







ROOF PLAN 1:200

eco. factor Pty. Ltd

SUITE 1, LEVEL 2, 215-219 GEORGE ST., LIVERPOOL 2170, NSW, Australia. P: 1300 326 322 info@ecofactor.com.au www.ecofactor.com.au



MEMBER:

This drawing is the property of ECOEACTOR PTYLTD and shall not be used in All or in part and shall not be used in All or in part of the property of the proper

eco.factor Design Solutions

THE FOLLOWING STANDAMOUNT IN STEEDED TO IN THE CRAMPIC.

A DISE CLASS IN BALLONGS - SELECTIFY AND PERSONNEL.

A DISE CLASS IN BALLONGS - SELECTIFY AND PERSONNEL AND CO.

AS SET PRICE AND CO.

A SILVER STANDAMOUNT OF STANDAM AND LOCKERS

AS SET PRICE AND CO.

A SILVER STANDAMOUNT OF STANDAMO

TAG SYMBOLS WALL TAG W# WINDOW TAG D# DOOR TAG

Certificate No. # A5TMQD1FYL Scan QR code or follow website link for rating details Stephen Burgum HERA10245 A/-(DP321050, 35 Dennis Street, Lakemba, VIC, 2195 DO NOT SCALE, USE FIGURED DIMENSIONS ONLY, VERIFY ALL LEVELS AND DIMENSIONS ON SITE BEFORE COMMENCING CONSTRUCTION, FABRICATION, OR SHOP DRAWINSS. 6 COPYRIGHT, ALL RIGHTS RESERVED

BUILDAID CONSULTING SERVICES

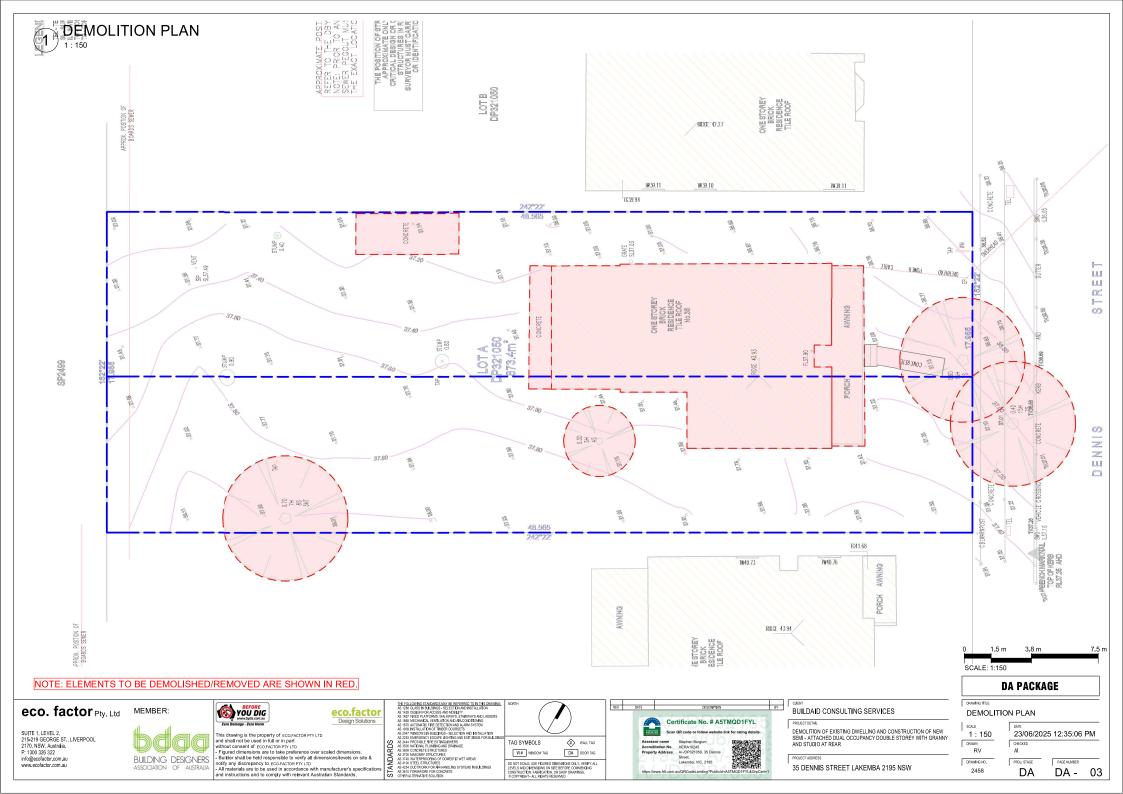
DEMOLITION OF EXISTING DWELLING AND CONSTRUCTION OF NEW SEMI - ATTACHED DUAL OCCUPANCY DOUBLE STOREY WITH GRANNY AND STUDIO AT REAR

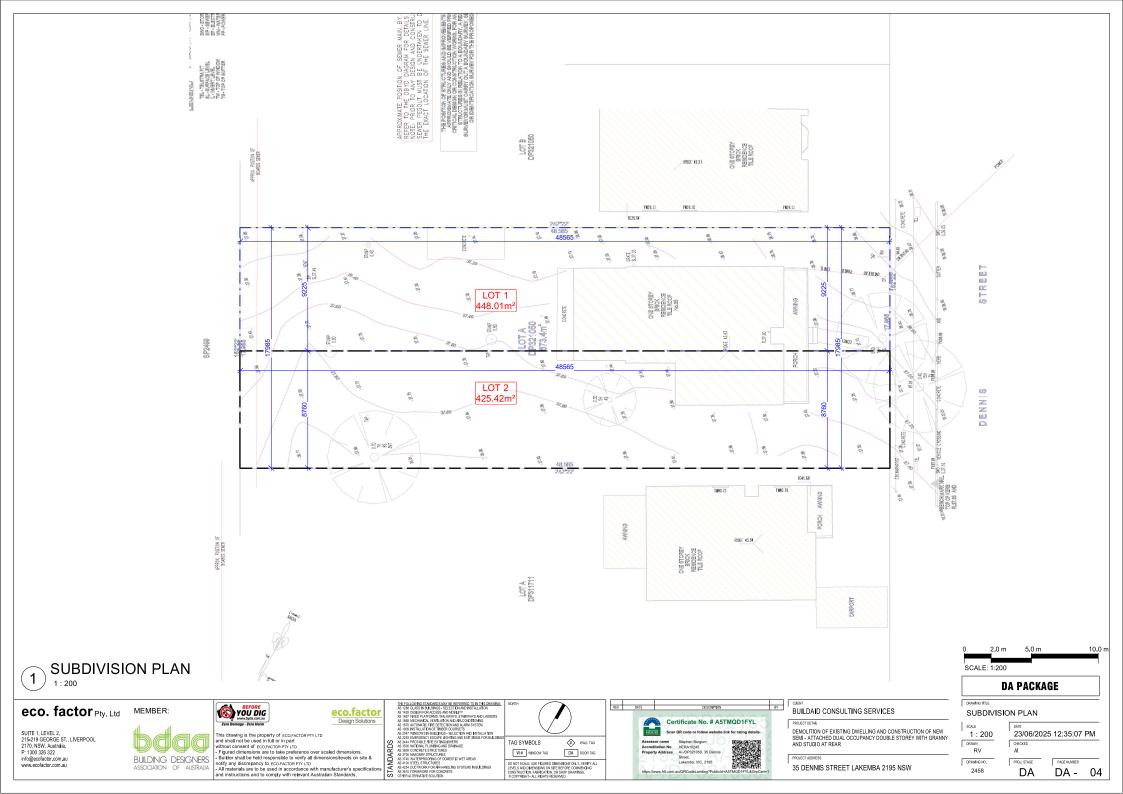
35 DENNIS STREET LAKEMBA 2195 NSW

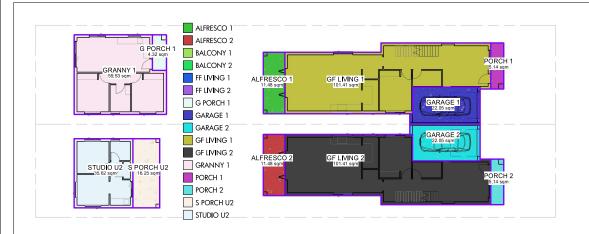
DA PACKAGE DRAWING TITLE

ROOF PLAN SCALE 1:200 23/06/2025 12:35:06 PM

DRAWN RV DA DA - 02





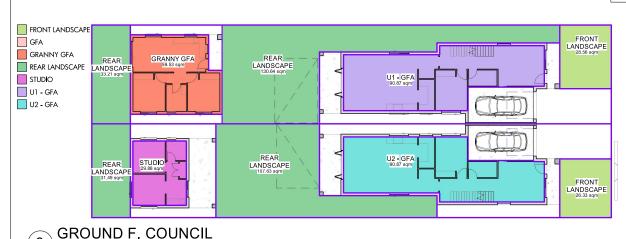


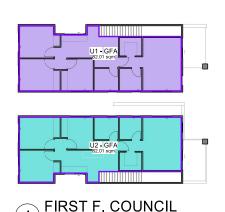
BALCONY 1 FF LIVING 1 FF LIVING 2 BALCONY 2

AREAS FOR BUILDERS Area sq.m sgrs ALFRESCO 1 11.48 1.24 ALFRESCO 2 11.48 1.24 **BALCONY 1** 9.68 1.04 BALCONY 2 9.68 1.04 FF LIVING 1 95.07 10.24 95.07 FF LIVING 2 10.24 4.32 0.47 G PORCH 1 **GARAGE 1** 22.05 2.38 **GARAGE 2** 22.05 2.38 GF LIVING 1 101.41 10.93 **GF LIVING 2** 101.41 10.93 **GRANNY 1** 59.53 6.42 PORCH 1 5.14 0.55 PORCH 2 5.14 0.55 S PORCH U2 16.25 1.75 STUDIO U2 35.62 3.84 TOTAL 605.39 65.24

FIRST F. BUILDERS

AREAS FO	R BUILDERS U	NIT 2	AREAS FO	R BUILDERS L	INIT 1
Area	sq.m	sqrs	Area	sq.m	sqrs
ALFRESCO 2	11.48	1.24	ALFRESCO 1	11.48	1.24
BALCONY 2	9.68	1.04	BALCONY 1	9.68	1.04
FF LIVING 2	95.07	10.24	FF LIVING 1	95.07	10.24
GARAGE 2	22.05	2.38	G PORCH 1	4.32	0.47
GF LIVING 2	101.41	10.93	GARAGE 1	22.05	2.38
PORCH 2	5.14	0.55	GF LIVING 1	101.41	10.93
S PORCH U2	16.25	1.75	GRANNY 1	59.53	6.42
STUDIO U2	35.62	3.84	PORCH 1	5.14	0.55
TOTAL	296.70	31.97	TOTAL	308.69	33.26





AREAS	S CALCULAT	ION
Level	Name	Area
U2 GROUND FLOOR	GRANNY GFA	59.53 m²
U2 GROUND FLOOR	STUDIO	29.88 m²
U2 FIRST FLOOR	U1 - GFA	82.01 m ²
U2 GROUND FLOOR	U1 - GFA	90.87 m²
U2 FIRST FLOOR	U2 - GFA	82.01 m ²
U2 GROUND FLOOR	U2 - GFA	90.87 m²
TOTAL		435.16 m²

LANDSCAPE AR	EAS
FRONT LANDSCAPE	54.89 m²
REAR LANDSCAPE	302.98 m²
TOTAL LANDSCAPE	357.86 m²
0 05 0	

SITE: 873.4m² SCALE: 1:250

DRAWING TITLE

DA PACKAGE

1:250 eco. factor Pty. Ltd

SUITE 1, LEVEL 2, 215-219 GEORGE ST., LIVERPOOL 2170, NSW, Australia. P: 1300 326 322 info@ecofactor.com.au www.ecofactor.com.au

3



GROUND F. BUILDERS

YOU DIG WWW.byda.com.au Zero Damage - Zero Harm

eco.factor Design Solutions

This drawing is the property of ECO-DACTOR TYLTD and shall not be used in full or in part or PYLTD and shall not be used in full or in preference over scaled dimensions.

- Builder shall be held responsible to verify all dimensions/levels on site & notify any discrepancy to ECO-PATOR PYLTD. All materials are to be used in accordance with manufacturer's specifications and instructions and to comply with relevant Australian Standards.

THE FOLLOWING TRACKING MAY BE REFERENT TO IN THE PRAMPING.
AS DISE OF ASIS IN BELIEVES - SELECTION AND PERSONNEL.
AS SET THE PROPINGED, AND ASSIST SERVINGWAY AND LOCKERS
AS BUS MECHANICAL STRUMLARD WAS ARROWN AND LOCKERS
AS BUS MECHANICAL STRUMLARD STRUMLARD AND PROPINGE THE CHILD AND LOCKERS AND LOCKERS
AS SET MECHANICAL STRUMLARD STRUMLARD AND LOCKERS
AS SET MECHANICAL STRUMLARD STRUMLARD AND LOCKERS
AS SET MECHANICAL STRUMLARD STRUMLARD AND LOCKERS
AS SET MECHANICAL STRUMLARD AND LOCKERS AND LOCKERS
AS SET MECHANICAL STRUMLARD STRUMLARD AND LOCKERS
AS SET MECHANICAL STRUMLARD AND LOCKERS AND LOCKERS
AS SET MECHANICAL STRUMLARD AND LOCKERS.

AS SET MECHANICAL STRUMLARD AND LOCKERS AND LOCKERS
AS SET MECHANICAL STRUMLARD AND LOCKERS.

AS SET MECHANICAL STRUMLARD AND LOCKERS AND LOCKERS.

AS SET MECHANICAL STRUMLARD AND LOCKERS AND LOCKERS.

AS SET MECHANICAL STRUMLARD AND LOCKERS AND LOCKERS.

AS SET MECHANICAL STRUMLARD AND LOCKERS.

AS SET MECHANICAL S TAG SYMBOLS W# WINDOW TAG

WALL TAG D# DOOR TAG DO NOT SCALE, USE FIGURED DIMENSIONS ONLY, VERIFY ALL LEVELS AND DIMENSIONS ON SITE BEFORE COMMENCING CONSTRUCTION, FABRICATION, OR SHOP DRAWINSS.

© COPYRIGHT: ALL RIGHTS RESERVED

Certificate No. # A5TMQD1FYL Scan QR code or follow website link for rating details Stephen Burgum HERA10245 A/-(DP321050, 35 Dennis Street, Lakemba, VIC, 2195

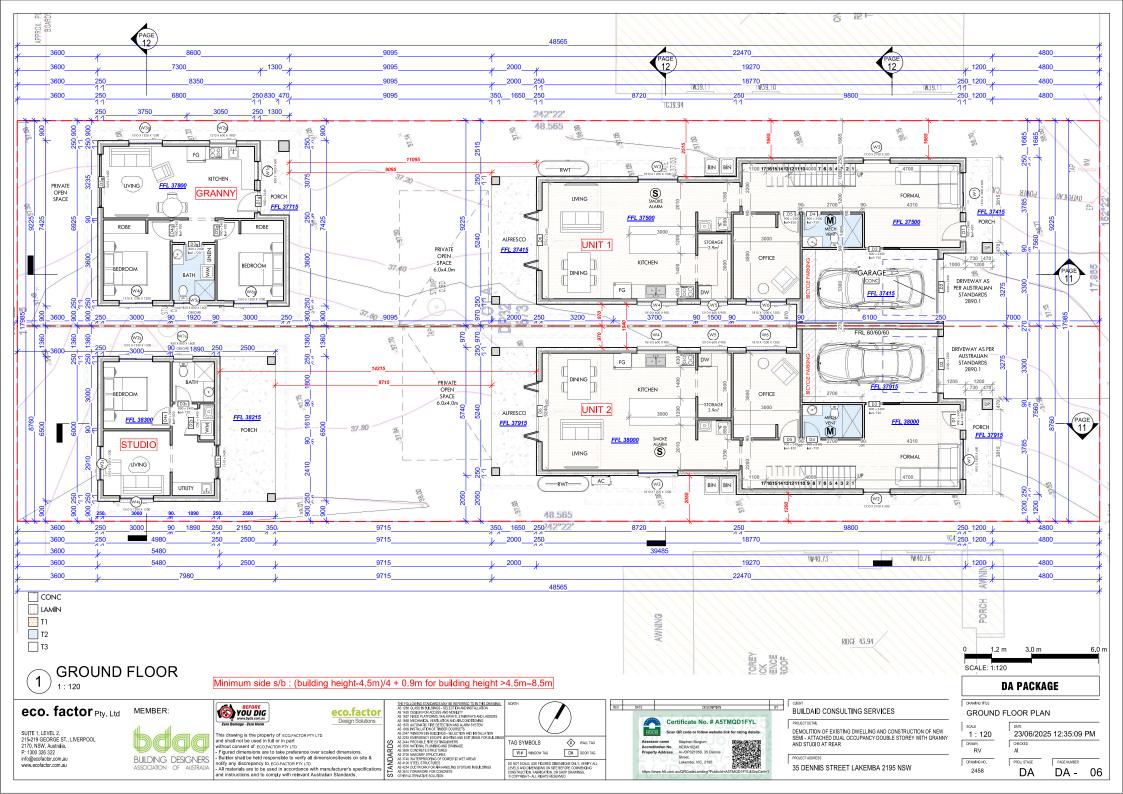
BUILDAID CONSULTING SERVICES

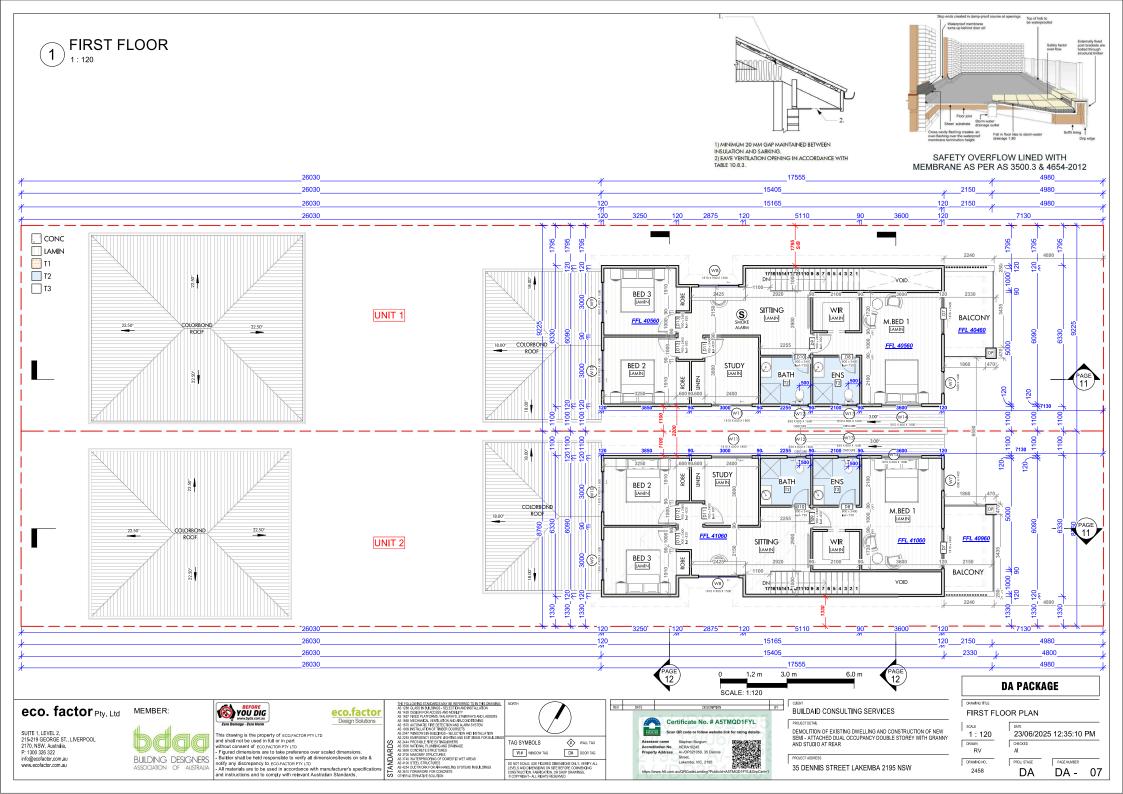
DEMOLITION OF EXISTING DWELLING AND CONSTRUCTION OF NEW SEMI - ATTACHED DUAL OCCUPANCY DOUBLE STOREY WITH GRANNY AND STUDIO AT REAR

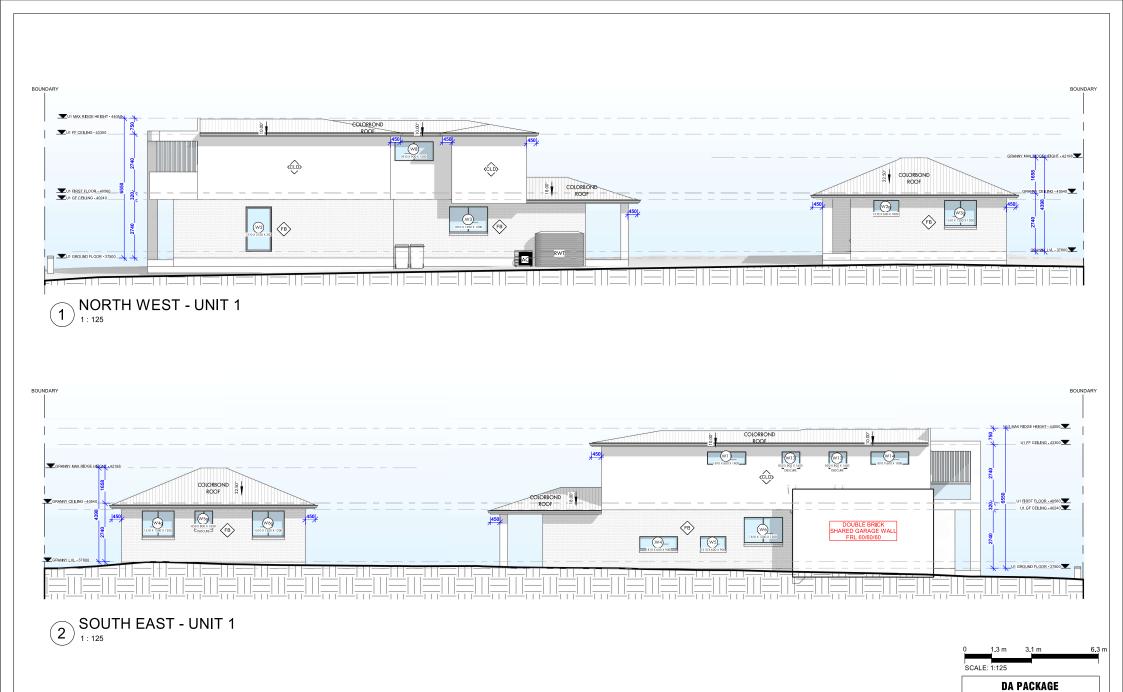
35 DENNIS STREET LAKEMBA 2195 NSW

AREAS CALCULATION 1:250 23/06/2025 12:35:08 PM DRAWN RV

DRAWING NO. DA DA - 05







eco. factor Pty. Ltd SUITE 1, LEVEL 2, 215-219 GEORGE ST., LIVERPOOL 2170, NSW, Australia. P: 1300 326 322 info@ecofactor.com.au www.ecofactor.com.au

BUILDING DESIGNERS

YOU DIG WWW.byda.com.au Zero Damage - Zero Harm MEMBER: eco.factor Design Solutions This drawing is the property of ECO.FACTOR PTYLTD and shall not be used in full or in part and shall not be used in full or in part and shall not be used in full or in part in the property of the property o

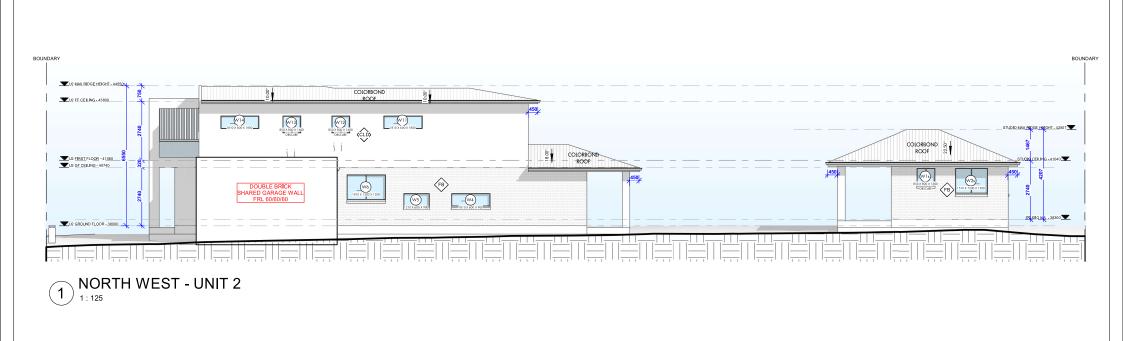
THE FOLLOWING TRACHMENT MAY BE EFFERRED TO IN THE FRONTING
AND THE CONTROL SECTION AND RESIDENCE
AND READ AND THE CONTROL SECTION AND RESIDENCE
AS BEET PRESENDED, RESIDENCE SECTION AND RESIDENCE
AS BEET PRESENDED, RESIDENCE SECTION AND RESIDENCE
AS BEET RESIDENCE FROM AND RESIDENCE
AS BEET RESIDENCE FROM THE RESIDENCE
AS BEET RESIDENCE FROM THE RESIDENCE
AS BEET RESIDENCE SECTION AND RESIDENCE
AS BEET RESIDENCE SECTION AND RESIDENCE
AS BEET RESIDENCE
BEET

TAG SYMBOLS WALL TAG W# WINDOW TAG D# DOOR TAG DO NOT SCALE. USE FISURED DIMENSIONS ONLY, VERIFY ALL LEVELS AND DIVERSIONS ON SITE BEFORE COMMENCING CONSTRUCTION, FABRICATION, OR SHOP DRAWINGS.

Certificate No. # A5TMQD1FYL Stephen Burgum HERA10245 A-/DP321050, 35 Dennis Street, Lakemba, VIC, 2195 35 DENNIS STREET LAKEMBA 2195 NSW

BUILDAID CONSULTING SERVICES DEMOLITION OF EXISTING DWELLING AND CONSTRUCTION OF NEW SEMI - ATTACHED DUAL OCCUPANCY DOUBLE STOREY WITH GRANNY AND STUDIO AT REAR

DRAWING TITLE SIDE ELEVATIONS - UNIT 1 SCALE 1:125 23/06/2025 12:35:13 PM DRAWN RV DRAWING NO. DA DA - 08











BUILDING DESIGNERS



THE FOLLOWING STANDARDS MAY BE SETTING THE SEASON.

A 128 CLASS IN BLADDOS - SELECTION AND DESCRIPTION.

A 128 CLASS IN BLADDOS - SELECTION AND DESCRIPTION.

A 128 CLASS IN BLADDOS - SELECTION AND DESCRIPTION.

A 128 CLASS IN BLADDOS - SELECTION AND DESCRIPTION.

A 128 CLASS IN BLADDOS - SELECTION AND DESCRIPTION.

A 128 DESCRIPTION AND DESCRIPTION.

A 128 DESCRIPTION AND DESCRIPTION.

A 128 DESCRIPTION AND DESCRIPTION.

A 128 DESCRIPTION.

A

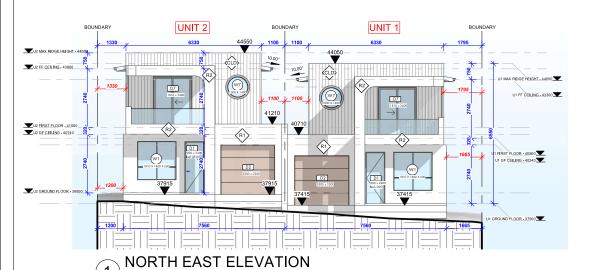


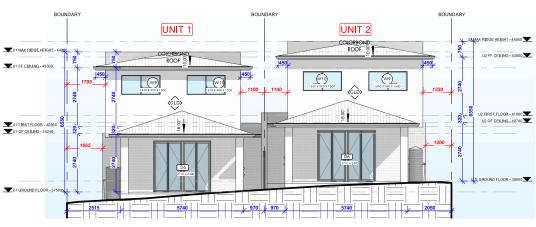
BUILDAID CONSULTING SERVICES
PROJECT DETAIL

| PROJECTORIAL
DEMOLITION OF EXISTING DWELLING AND CONSTRUCTION OF NEW
SEMI-ATTACHED DUAL OCCUPANCY DOUBLE STOREY WITH GRANNY
AND STUDIO AT REAR

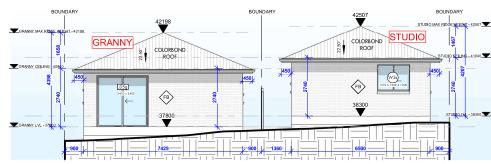
PROJECT ADDRESS

35 DENNIS STREET LAKEMBA 2195 NSW

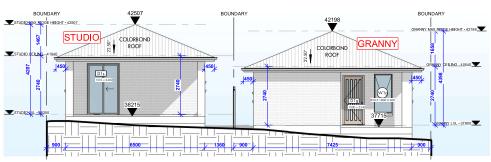








SOUTH WEST - GRANNY & STUDIO



NORTH EAST - GRANNY & STUDIO



MEMBER:

This drawing is the property of ECO-FACTOR PYLTD and shall not be used in full or in part without consent of ECO-FACTOR PYLTD and shall not be used in full or in part without consent of ECO-FACTOR PYLTD and shall not be used in full or in part without consent of ECO-FACTOR PYLTD and shall not be used in full or in part without consent of ECO-FACTOR PYLTD and shall not be used in full or in part without consent of ECO-FACTOR PYLTD and shall not be used in full or in part without consent of ECO-FACTOR PYLTD and shall not sh

THE FOLLOWING TRANSMESS MAY BE SETEROR TO THE THE SHAPPING AS CORE OF ASSESS BUILDINGS - SELECTION AND DEFOLUTION AND DEFOLUTION AS CORE OF ASSESS BUILDINGS - SELECTION AND DEFOLUTION AS CORE OF ASSESS BUILDINGS - SELECTION AND DEFOLUTION AND ASSESS BUILDINGS - SELECTION AS CORE OF ASSES

Certificate No. # ASTMOD1FYL

Scan QR code or follow website link for rating details.

Assessor name
Accrediation No. #IREA/1026
Properly Address Accrediation No. 1869
Libertok, VIC. 2166
Libertok, VIC. 2166
Libertok, VIC. 2166

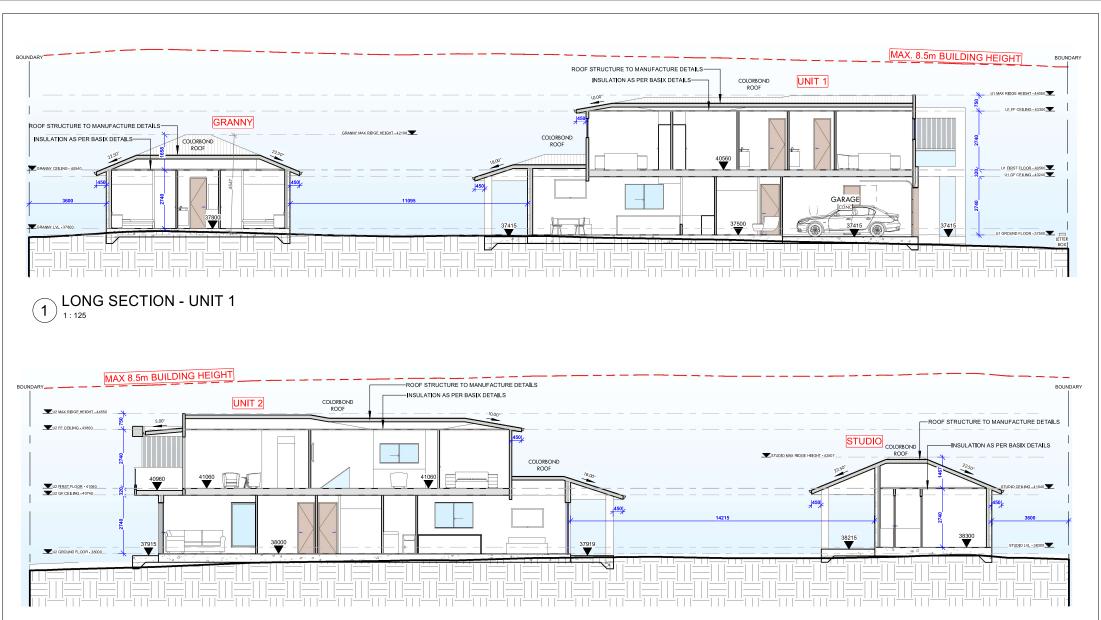
LIBIT BUILDAID CONSULTING SERVICES

PROJECTIFICIBLE

DEMOLITION OF EXISTING DWELLING AND CONSTRUCTION OF NEW SEMI-ATTACHED DUAL OCCUPANCY DOUBLE STOREY WITH GRAINLY AND STUDIO AT REAR

PROJECT MONESS

35 DENNIS STREET LAKEMBA 2195 NSW



LONG SECTION - UNIT 2

eco. factor Pty. Ltd

SUITE 1, LEVEL 2, 215-219 GEORGE ST., LIVERPOOL 2170, NSW, Australia. P: 1300 326 322 info@ecofactor.com.au www.ecofactor.com.au



YOU DIG eco.factor Design Solutions Zero Domage - Zero Horm

This drawing is the property of ECOEACTOR PTYLTD and shall not be used in All or in part and shall not be used in All or in part of the property of the proper

THE FOLLOWING STANDAMEN MAY BE STEEDED TO IN THE CRAMPIC.

A DIES CASSIS BALLOWS - SELECTIFY AND PETELLATION

AS THE PROJECT OF THE PROJECT STANDAMENT AND PETELLATION
AS THE PROJECT STANDAMENT STANDAMENT AND COORDINATE
AS THE PROJECT STANDAMENT STANDAMENT AND PROJECT STANDAMENT
AS THE PROJECT STANDAMENT STANDAMENT STANDAMENT
AS THE PROJECT STANDAMENT STANDAMENT STANDAMENT
AS THE PROJECT STANDAMENT STANDAMENT
STANDAMENT
STANDAMENT
STANDAMENT
STANDAMENT
STANDAMENT
STANDAMENT
STANDAMENT
STANDAMENT
STANDAMENT
STANDAMENT
STANDAMENT
STANDAMENT
STANDAMENT
STANDAMENT
STANDAMENT
STANDAMENT
STANDAMENT
STANDAMENT
STANDAMENT
STANDAMENT
STANDAMENT
STANDAMENT
STANDAMENT
STANDAMENT
STANDAMENT
STANDAMENT
STANDAMENT
STANDAMENT
STANDAMENT
STANDAMENT
STANDAMENT
STANDAMENT
STANDAMENT
STANDAMENT
STANDAMENT
STANDAMENT
STANDAMENT
STANDAMENT
STANDAMENT
STANDAMENT
STANDAMENT
STANDAMENT
STANDAMENT
STANDAMENT
STANDAMENT
STANDAMENT
STANDAMENT
STANDAMENT
STANDAMENT
STANDAMENT
STANDAMENT
STANDAMENT
STANDAMENT
STANDAMENT
STANDAMENT
STANDAMENT
STANDAMENT
STANDAMENT
STANDAMENT
STANDAMENT
STANDAMENT
STANDAMENT
STANDAMENT
STANDAMENT
STANDAMEN TAG SYMBOLS WALL TAG W# WINDOW TAG D# DOOR TAG DO NOT SCALE. USE FIGURED DIMENSIONS ONLY, VERIFY ALL LEVELS AND DIMENSIONS ON SITE BEFORE COMMENCING CONSTRUCTION, FABRICATION, OR SHOP DRAWINGS. © COPYRIGHT, ALL RIGHTS RESERVED.

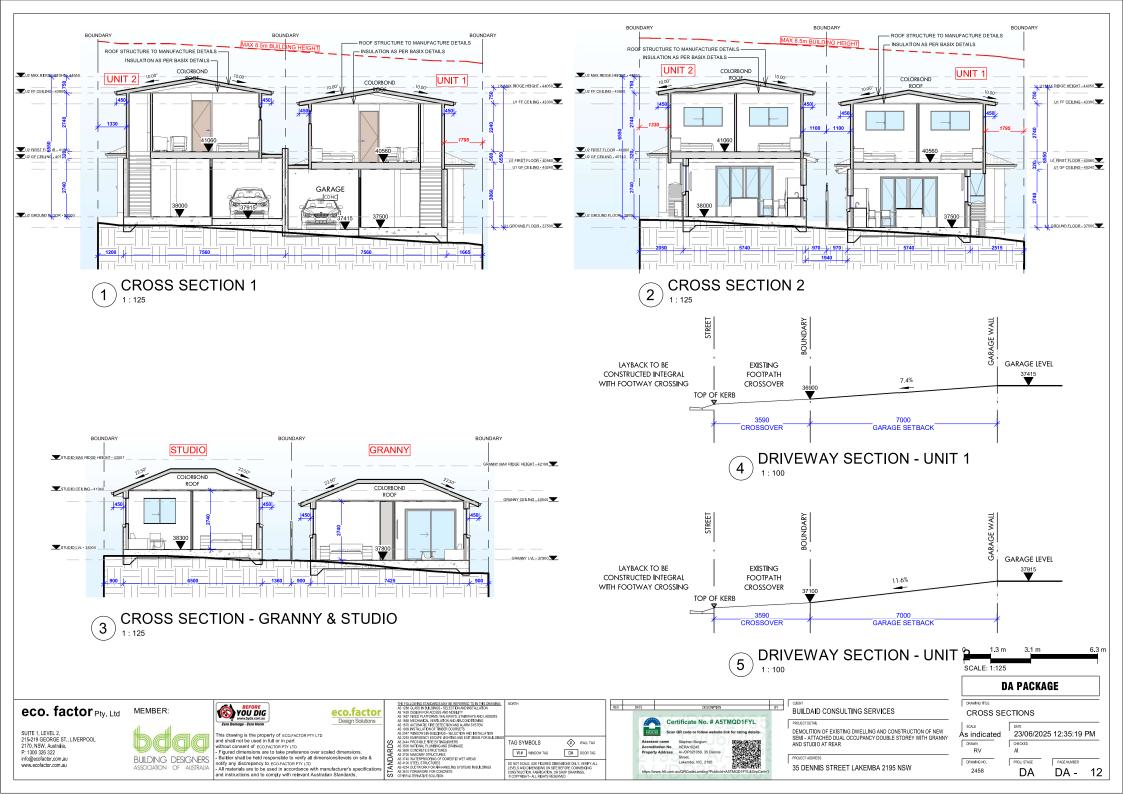
Certificate No. # A5TMQD1FYL Scan QR code or follow website link for rating details Stephen Burgum HERA10245 A-/DP321050, 35 Dennis Street, Lakemba, VIC, 2195 35 DENNIS STREET LAKEMBA 2195 NSW

BUILDAID CONSULTING SERVICES DEMOLITION OF EXISTING DWELLING AND CONSTRUCTION OF NEW SEMI - ATTACHED DUAL OCCUPANCY DOUBLE STOREY WITH GRANNY AND STUDIO AT REAR

DRAWING TITLE LONG SECTIONS SCALE 1:125 23/06/2025 12:35:18 PM DRAWN RV DRAWING NO. 2458 DA DA - 11

DA PACKAGE

SCALE: 1:125



STANDARD SPECIFICATION

BE ADVISED: SOME CLAUSES IN THIS SPECIFICATION MAY NOT BE RELEVANT TO THIS PROJECT

BUILDING SPECIFICATIONS National Construction Code - Volume 2 -Building Code of Australia 2022 & Housing Provisions Standard 2022

SITE PREPARATION

- PART 3.1 OF THE NCC VOLUME 2 BUILDING CODE OF AUSTRALIA 2022 & HOUSING PROVISIONS STANDARD 2022.

EARTHWORKS

- TO BE CARRIED OUT IN ACCORDANCE WITH THE REQUIREMENTS OF THE ENVIRONMENTAL PLANNING & ASSESSMENT ACT 1979 AND DEVELOPMENT CONSENT CONDITIONS - PART 3.2 OF THE NCC VOLUME 2 BUILDING CODE OF AUSTRALIA 2022 & HOUSING PROVISIONS STANDARD 2022. -AS 4678:2002 - EARTH-RETAININGSTRUCTURES

DRAINAGE

BUILDING CODE OF AUSTRALIA 2022 & HOUSING PROVISIONS STANDARD 2022. - AS/NZS 3500.1:2021 - PLUMBING & DRAINAGE -WATER SERVICES - AS/NZS 3500.2:2021 - PLUMBING & DRAINAGE -SANITARY PLUMBING & DRAINAGE - AS/NZS 3500.3:2021 - PLUMBING & DRAINAGE STORMWATER DRAINAGE - AS/NZS 3500.4:2021 - PLUMBING & DRAINAGE -

- PART 3.3 OF THE NCC VOLUME 2

HEATED WATER SERVICES

STRUCTURAL WORK

- Part 2.2 OF THE NCC VOLUME 2 BUILDING CODE OF AUSTRALIA 2022 & HOUSING PROVISIONS STANDARD 2022 - AS 4100-2020- STEEL STRUCTURES CODES - AS/NZS 1170.0-2002 - GENERAL PRINCIPLES - ASNZS 1170 1-2002 - PARTS 1 PERMANENT, IMPOSED AND OTHER ACTIONS - AS/NZS 1170.2-2021 - PART 2 WIND ACTIONS - AS 3700-2018- SAA MASONRY CODE - AS 1684.3-2021- RESIDENTIAL TIMBER FRAMED CONSTRUCTION

FOOTINGS & SLABS

- PART 4 OF THE NCC VOLUME 2 BUILDING CODE OF AUSTRALIA 2022 & HOUSING PROVISIONS STANDARD 2022. - AS 2159:2009 - PILING -**DESIGN & INSTALLATION** - AS 2870:2011 - RESIDENTIAL SLABS & FOOTINGS

MASONRY

- PART 5 OF THE NCC VOLUME 2 BUILDING CODE OF AUSTRALIA 2022 & HOUSING PROVISIONS STANDARD 2022. - AS 3700:2018 - MASONRY STRUCTURES

- PART 6 OF THE NCC VOLUME 2 BUILDING CODE OF AUSTRALIA 2022 & HOUSING

- AS 1684.2:2021 - RESIDENTIAL TIMBER-FRAMED

PROVISIONS STANDARD 2022.

- AS 3600:2018 - CONCRETE STRUCTURES

FRAMING

CONSTRUCTION - NON- CYCLONIC AREAS - AS 1720.1:2010 - TIMBER STRUCTURES -DESIGN METHODS - AS 4100:2020 - STEEL STRUCTURES - AS 3660.1-2014 - TERMITE MANAGEMENT SYSTEM **ROOF & WALL CLADDING** - PART 7 OF THE NCC VOLUME 2 BUILDING CODE OF AUSTRALIA 2022 & HOUSING PROVISIONS STANDARD 2022. - AS 1273:1991 - UNPLASTICIZED PVC (UPVC) DOWNPIPES & FITTINGS FORRÁINWATER

- AS 1562.1:2018 - DESIGN & INSTALLATION OF SHEET ROOF & WALL CLADDING - METAL - AS/NZS 1562.3:2006 - DESIGN & INSTALLATION OF SHEET ROOF & WALLCLADDING - PLASTIC - AS 2049:2002 - ROOF TILES - AS 2050:2018 - INSTALLATION OF ROOF

- AS 4285:2019 - ROOFLIGHTS

GLAZING

- PART 8 OF THE NCC VOLUME 2 BUILDING CODE OF AUSTRALIA 2022 & HOUSING PROVISIONS STANDARD 2022. - AS 1288:2021 - GLASS IN BUILDINGS -SELECTION & INSTALLATION - AS 2047:2014 - WINDOWS & EXTERNAL GLAZED DOORS IN BUILDINGS - AS/NZS 2208:1996 - SAFETY GLAZING MATERIALS IN BUILDINGS

FIRE SAFETY

- PART 9 OF THE NCC VOLUME 2 BUILDING CODE OF AUSTRALIA 2022 & HOUSING PROVISIONS STANDARD 2022. - AS 3786:2014 - SMOKE ALARMS USING SCATTERED LIGHT, TRANSMITTED LIGHTOR IONIZATION

HEALTH & AMENITY

- PART 10 OF THE NCC VOLUME 2 BUILDING CODE OF AUSTRALIA 2022 & HOUSING PROVISIONS STANDARD 2022. AS/NZS ISO 717 1:2004 - ACQUISTICS -RATING OF SOUND INSULATION IN BUILDINGS & OF BUILDING ELEMENTS -AIRBORNE SOUND INSULATION - AS ISO 717.2:2004 - ACOUSTICS -RATING OF SOUND INSULATION IN BUILDINGS & OF BUILDING ELEMENTS - IMPACT SOUND INSULATION AS 1668 2:2012 - THE USE OF VENTILATION & AIR CONDITIONING IN BUILDINGS - MECHANICAL VENTILATIONIN BUILDINGS AS 1668.4:2012 - THE USE OF VENTILATION & AIR CONDITIONING IN **BUILDINGS - NATURAL VENTILATION** OF BUILDINGS - AS/NZS 1680.0:2009 - INTERIOR LIGHTING - SAFE MOVEMENT - AS 3740:2021 - WATERPROOFING OF

WATERPROOFING

- NCC VOLUME 2 BUILDING CODE OF AUSTRALIA 2022 & HOUSING PROVISIONS STANDARD 2022 - AS 3740-2021- WATERPROOFING TO WET AREA - AS 4654-2012 - EXTERNAL WET AREAS

- AS 3000-2018 - ELECTRICAL INSTALLATION

DOMESTIC WET AREAS

SAFE MOVEMENT & ACCESS

- PART 11 OF THE NCC VOLUME 2 BUILDING CODE OF AUSTRALIA 2022 & HOUSING PROVISIONS STANDARD 2022. - AS 1428.1:2009 - DESIGN FOR ACCESS & MOBILITY - GENERAL REQUIREMENTS FOR ACCESS - NEW BUILDING WORK - AS 1657:2018 - FIXED PLATFORMS, WALKWAYS. STAIRWAYS & LADDERS - DESIGN CONSTRUCTION & INSTALLATION

HANDRAILS & BALUSTRADE

- PART 11.3.3 OF THE NCC VOLUME 2 BUILDING CODE OF AUSTRALIA 2022 & HOUSING PROVISIONS STANDARD 2022. - PART 11.3.4 OF THE NCC VOLUME 2 **BUILDING CODE OF AUSTRALIA 2022 &** HOUSING PROVISIONS STANDARD 2022.
- PART 11.3.5 OF THE NCC VOLUME 2 BUILDING CODE OF AUSTRALIA 2022 & HOUSING PROVISIONS STANDARD 2022. - AS 1170.1-2002 - BALUSTRADE INSTALLATION

PROTECTION OF OPENABLE WINDOW

PART 11.3.7 AND 11.3.8 OF THE NCC VOLUME 2 BUILDING CODE OF AUSTRALIA 2022 & HOUSING PROVISIONS STANDARD

DEMOLITION

- AS 2601-2001 - DEMOLITION WORK

SWIMMING POOL

- PART 12.1.1 (H7D2) OF THE NCC VOLUME 2 BUILDING CODE OF AUSTRALIA 2022 & HOUSING PROVISIONS STANDARD 2022 - AS 1926 PART 1-2012 – SWIMMING POOL SAFETY -SAFETY BARRIERS FOR SWIMMING POOLS - AS 1926 PART 2-2007 - SWIMMING POOL SAFETY -POOLS (INCORPORATING AMENDMENTS 1 AND 2) - AS 1926 PART 3-2010 – SWIMMING POOL SAFETY -WATER RECIRCULATION SYSTEMS (INCORPORATING AMENDMENT 1)

ENERGY EFFICIENCY

- PART 13 OF THE NCC VOLUME 2 BUILDING CODE OF AUSTRALIA 2022 & HOUSING PROVISIONS STANDARD 2022 & BASIX Certificate

eco. factor Pty. Ltd

SUITE 1, LEVEL 2, 215-219 GEORGE ST., LIVERPOOL 2170, NSW, Australia. P: 1300 326 322 info@ecofactor.com.au www.ecofactor.com.au



MEMBER:

YOU DIG nage - Zero Hara

eco.factor

Design Solutions This drawing is the property of ECO.FACTOR PTY LTD and shall not be used in full or in part without consent of ECO.FACTOR PTY LTD - Figured dimensions are to take preference over scaled dimensions. - Bullder shall be held responsible to verify all dimensions/levels on site &

THE FOLLOWING STANDARDS MAY BE REFERRED TO IN THIS DRAWING: AS 1286 GLASS IN BUILDINGS - SELECTION AND INSTALLATION THE FILE OFFICE TRANSPERSION OF BETFERRIN THE THE PROPERTY AS THE GLOSING AND THE CONTROL OF SECTION AND SECTION AS THE CONTROL OF SECTION AND SECTION AS THE CONTROL OF SECTION AND SECTION AS THE CONTROL OF SEC

TAG SYMBOLS WALL TAG W# WINDOW TAG D# DOOR TAG DO NOT SCALE, USE FIGURED DIMENSIONS ONLY, VERIFY ALL LEVELS AND DIMENSIONS ON SITE BEFORE COMMENCING CONSTRUCTION, FABRICATION, OR SHOP DRAWINGS. © COPYRIGHT ALL RIGHTS RESERVED.



BUILDAID CONSULTING SERVICES

DEMOLITION OF EXISTING DWELLING AND CONSTRUCTION OF NEW SEMI - ATTACHED DUAL OCCUPANCY DOUBLE STOREY WITH GRANNY AND STUDIO AT REAR

35 DENNIS STREET LAKEMBA 2195 NSW

DA PACKAGE

DRAWING TITLE STANDARD SPECIFICATION

NTS 23/06/2025 12:35:21 PM

RV

DA -

16

DA

2458

notify any discrepancy to ECO.FACTOR PTY LTD - All materials are to be used in accordance with manufacturer's specifications and instructions and to comply with relevant Australian Standards

GENERAL NOTES

- ALL MATERIALS AND WORK PRACTICES SHALL COMPLY WITH ALL RELEVANT CURRENT AUSTRALIAN STANDARDS (AS AMENDED) REFERRED TO THERE IN AND CURRENT DESIGN
- THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT STRUCTURAL AND ALL OTHER CONSULTANTS DRAWINGS/DETAILS AND WITH ANY OTHER WRITTEN INSTRUCTIONS
- FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
- BUILDER SHALL TAKE ALL STEPS NECESSARY TO ENSURE THE STABILITY AND GENERAL WATER TIGHTNESS OF ALL NEW AND/OR EXISTING STRUCTURES DURING ALL WORKS.
- THE CONTRACTOR/BUILDER IS RESPONSIBLE FOR SETTING OUT AND CHECKING ALL LEVELS AND MEASUREMENTS ON SITE
- ALL DIMENSIONS AND LEVELS ARE TO BE CONFIRMED BY THE OWNER/BUILDER AND ANY DISCREPANCIES IN THE DOCUMENTS MUST BE RESOLVED BEFORE ORDERING COMMENCEMENT
- OF ANY WORKS.

 WINDOW SIZES NOMINATED ARE NOMINAL ONLY, ACTUAL SIZE MAY VARY ACCORDING TO MANUFACTURER. WINDOWS ARE TO BE FLASHED ALL AROUND.

 NISTELATION OF ALL SERVICES MUST COMPLY WITH SUPPLY AUTHORITY REQUIREMENTS.
- THE BUILDER AND SUBCONTRACTOR SHALL ENSURE THAT ALL STORM WATER DRAINS, PIPES AND THE LIKE ARE LOCATED AT A SUFFICIENT DISTANCE FROM ANY FOOTING AND/OR SLAB EDGE BEAMS SO AS TO PREVENT GENERAL MOISTURE PENETRATION, DAMPNESS, WEAKENING AND UNDER MINING OF ANY BUILDING AND ITS FOOTING SYSTEM.
- THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE ARCHITECTURAL DRAWINGS. STRUCTURAL DRAWINGS, AND THE SPECIFICATION.
- PRIOR TO COMMENCEMENT OF WORKS THE CONTRACTOR SHALL SATISFY HIMSELF OF THE CORRECT LOCATION OF EXISTING SERVICES WHETHER INDICATED OR NOT ON THE PLANS. ANY DAMAGE TO EXISTING SERVICES SHALL BE RECTIFIED AT THE CONTRACTOR'S EXPENSE.

 • TRAFFIC MANAGEMENT MEASURES HAVE TO BE IMPLEMENTED AND MAINTAINED DURING
- CONSTRUCTION, ALL IN ACCORDANCE WITH COUNCIL'S REQUIREMENTS. THE CONTRACTOR SHALL MAINTAIN SAFE PEDESTRIAN ACCESS ALONG THE FOOTPATH.
- THE CONTRACTOR SHALL EFFECT TEMPORARY DRAINAGE MEASURES TO AVOID LOCALISED PONDING OF SURFACE RUN-OFF
- REFER TO ARCHITECTURAL DRAWINGS FOR ALL DETAILS (LEVELS, GRADING, ETC.) OF DRIVEWAYS, CONCRETE AND PAVED AREAS, AND RETAINING WALL TYPES AND LOCATIONS.
- · REFER TO LANDSCAPE DRAWINGS FOR DETAILS AND EXTENT OF ALL LANDSCAPED AREAS.
- · ALL SWD PIPES ARE UPVC AT 1.0% MINIMUM GRADE.
- SWD PITS CAN BE PRE-CAST SIZED AS FOLLOWS: 450MM SQ. UP TO 600MM DEEP 600MM SQ. UP TO 1000MM DEEP
- · ALL PITS LOCATED IN TRAFFICABLE AREAS, (IE, DRIVEWAYS) TO HAVE MEDIUM-DUTY GRATED COVERS SUITABLE FOR WITHSTANDING LOADS ASSOCIATED WITH SMALL TRUCKS.
- PROVIDE STEP IRONS TO ALL PITS GREATER THAN 1.2M DEEP.
- THE CONTRACTOR SHALL IMPLEMENT ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO COMMENCEMENT OF WORKS.

 • TOPSOIL SHALL BE STRIPPED DN STOCKPILE OUTSIDE HAZARD AREAS SUCH AS DRAINAGE
- LINES. THIS TOPSOIL IS TO BE RESPREAD LATER ON ARE AS TO BE REVEGETATED.
- THE CONTRACTOR SHALL REGULARLY MAINTAIN ALL SEDIMENT AND EROSION CONTROL DEVICES AND REMOVE ACCUMULATED SILT FROM SUCH DEVICES. ALL SILT REMOVED SHALL BE DISPOSED OF AS DIRECTED BY THE SUPERINTENDENT. THE PERIOD FOR MAINTAINING THESE DEVICES SHALL BE AT LEAST UNTIL ALL DISTURBED AREAS ARE REVEGETATED AND FURTHER AS MAY BE DIRECTED BY THE SUPERINTENDENT OR COUNCIL.
- THE CONTRACTOR SHALL MAINTAIN DUST CONTROL UNTIL FINAL COMPLETION OF WORKS.

BCA COMPLIANCE NOTES

BUILDING CODE OF AUSTRALIA VOLUME 2 2022 EDITION OF THE NCC & RELEVANT AUSTRALIAN STANDARDS NOTES:

- ALL WINDOWS TO HABITABLE ROOMS REQUIRING RESTRICTED OPENINGS MUST COMPLY WITH THE REQUIREMENTS OF BCA VOL 2

 NON-SLIP NOSMOS TREADS TO STAIRS TO COMPLY WITH THE REQUIREMENTS OF BCA VOL 2

 ALL MASONRY WALLS TO COMPLY WITH THE REQUIREMENTS OF BCA VOL 2 AND AS3700
- TERMITE MANAGEMENT SYSTEMS TO BE INSTALLED AS PER AS3660.1 OR AS3660.2
- · HIGH IMPACT VAPOR BARRIER TO COMPLY WITH THE REQUIREMENTS OF BCA VOL 2
- GUTTERS AND DOWNPIPES TO COMPLY WITH THE REQUIREMENTS OF BCA VOL2

 GUTTERS AND DOWNPIPES TO COMPLY WITH THE REQUIREMENTS ASSO0.3 AND/OR ASSSO0.5

 WET AREA MEMBRANE TO BE INSTALLED AS PER ASS740 AND THE REQUIREMENTS OF BCA VOL 2

 ALL ENCLOSED WATER CLOSET DOORS MUST SWING OUT OR BE PROVIDED WITH REMOVABLE HINGES OR CAVITY SLIDING DOOR AS PER THE REQUIREMENTS OF BCA VOL 2

- SMOKE ALARMS TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF BCA VOL 2
- STAIRS TO BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF BCA VOL 2
- \bullet FINISH OF STAIRS MUST MEET THE REQUIREMENTS OF THE BCA VOL 2
- LANDINGS TO BE PROVIDED MUST COMPLY WITH THE REQUIREMENTS OF BCA VOL 2
 BARRIERS AND BALUSTRADING TO COMPLY WITH THE REQUIREMENTS OF BCA VOL 2
- HANDRAILS SERVICING STAIRS TO COMPLY WITH THE REQUIREMENTS OF BCA VOL 2 • ROOM HEIGHTS IN HABITALE ROOMS MUST BE A MINIMUM OF 2.4M MEASURED FROM THE
- FINISHED FLOOR TO THE CEILING LINING AS PER THE REQUIREMENTS OF BCA VOL 2



BUILDAID CONSULTING SERVICES

DEMOLITION OF EXISTING DWELLING AND CONSTRUCTION OF NEW SEMI - ATTACHED DUAL OCCUPANCY DOUBLE STOREY WITH GRANNY AND STUDIO AT REAR

eco. factor Pty. Ltd

SUITE 1, LEVEL 2, 215-219 GEORGE ST., LIVERPOOL 2170, NSW, Australia. P: 1300 326 322 info@ecofactor.com.au www.ecofactor.com.au



BUILDING DESIGNERS

eco.factor Design Solutions

his drawing is the property of ECO.FACTOR PTY LTD

and instructions and to comply with relevant Australian Standards

Inis grawing is the property of ECCEACTOR PTY LTD and shall not be used in full or in part without consent of ECCEACTOR PTY LTD - Figured dimensions are to take preference over scaled dimensions. - Builder shall be held responsible to verify all dimensions/flevels on site & notify any discrepancy to ECO.FACTOR PTY LTD All materials are to be used in accordance with manufacturer's specifications

THE FOLLOWING STANDARDS MAY BE REFERRED TO IN THIS DRAWING: AS 1288 GLASS IN BUILDINGS - SELECTION AND INSTALLATION

LIFE DIAL COMMENTATIONS CONTINUED TO THE THE SHARE THE THE SHARE T W# WINDOW TAG

TAG SYMBOLS WALL TAG D# DOOR TAG DO NOT SCALE, USE FIGURED DIMENSIONS ONLY, VERIFY ALL LEVELS AND DIMENSIONS ON SITE BEFORE COMMENCING CONSTRUCTION, FABRICATION, OR SHOP DRAWINGS.

35 DENNIS STREET LAKEMBA 2195 NSW

DA PACKAGE DRAWING TITLE BCA NOTES NTS 23/06/2025 12:35:21 PM RV 2458 DA DA -17

BUILDING DESIGN SAFETY REPORT

1. FALLS, SLIPS, TRIPS

A) WORKING AT HEIGHTS DURING CONSTRUCTION

WHEREVER POSSIBLE COMPONENTS FOR THIS BUILDING SHOULD BE PREFABRICATED OFF-SITE OR AT GROUND LEVEL TO MINIMISE THE RISK OF WORKERS FALLING MORE THAN TWO METERS. HOWEVER CONSTRUCTION OF THIS BUILDING WILL REQUIRE WORKERS TO BE WORKING AT HEIGHTS WHERE A FALL IN EXCESS OF TWO METERS IS POSSIBLE AND INJURY IS LIKELY TO RESULT FROM SUCH A FALL

THE BUILDER SHOULD PROVIDE A SUITABLE BARRIER WHEREVER A PERSON IS EQUIRED TO WORK IN A SITUATION WHERE FALLING MORE THAN TWO METERS IS A POSSIBILITY.

DURING OPERATION OR MAINTENANCE FOR HOUSES OR OTHER LOW-RISE BUILDINGS WHERE SCAFFOLDING IS APPROPRIATE:

CLEANING AND MAINTENANCE OF WINDOWS, WALLS, ROOF OR OTHER COMPONENTS OF THIS BUILDING WILL REQUIRE PERSONS TO BE SITUATED WHERE A FALL FROM A HEIGHT IN EXCESS OF TWO METERS IS POSSIBLE. WHERE THIS TYPE OF ACTIVITY IS REQUIRED, SCAFFOLDING, LADDERS OR TRESTLES SHOULD BE USED IN ACCORDANCE WITH RELEVANT CODES OF PRACTICE.REGULATIONS OR LEGISLATION

B) SLIPPERY OR UNEVEN SURFACES

FLOOR FINISHES BY OWNER

DESIGNER HAS NOT NOT BEEN INVOLVED IN THE SELECTION OF SURFACE FINISHES, THE OWNER IS RESPONSIBLE FOR THE SELECTION OF SURFACE FINISHES IN THE PEDESTRIAN TRAFFICABLE AREAS OF THIS BUILDING

SURFACES SHOULD BE SELECTED IN ACCORDANCE WITH AS HB 197:1999 AND AS/NZ 4586:2004.

STEPS, LOOSE OBJECTS AND UNEVEN SURFACES DUE TO DESIGN RESTRICTIONS FOR THIS BUILDING. STEPS AND/OR RAMPS ARE INCLUDED IN THE BUILDING WHICH MAY BE A HAZARD TO WORKERS CARRYING OBJECTS OR OTHERWISE OCCUPIED.

STEPS SHOULD BE CLEARLY MARKED WITH BOTH VISUAL AND TACTILE WARNING DURING CONSTRUCTION, MAINTENANCE, DEMOLITION AND AT ALL TIMES WHEN THE BUILDING OPERATES AS A WORKPLACE.

BUILDING OWNERS AND OCCUPIERS SHOULD MONITOR THE PEDESTRIAN ACCESS WAYS AND IN PARTICULAR ACCESS TO AREAS WHERE MAINTENANCE IS ROUTINELY CARRIED OUT TO ENSURE THAT SURFACES HAVE NOT MOVED OR CRACKED SO THAT THEY BECOME UNEVEN AND PRESENT A TRIP

SPILLS, LOOSE MATERIAL, STRAY OBJECTS OR ANY OTHER MATTER THAT MAY CAUSE A SLIP OR TRIP HAZARD SHOULD BE CLEANED OR REMOVED FROM ACCESS WAYS.

CONTRACTORS SHOULD BE REQUIRED TO MAINTAIN A TIDY WORK SITE DURING CONSTRUCTION MAINTENANCE OR DEMOLITION TO REDUCE THE RISK OF TRIPS AND FALLS IN THE WORKPLACE.

MATERIALS FOR CONSTRUCTION OR MAINTENANCE SHOULD BE STORED IN DESIGNATED AREAS AWAY FROM ACCESS WAYS AND WORK AREAS.

2. FALLING OBJECTS

LOOSE MATERIALS OR SMALL OBJECTS

CONSTRUCTION, MAINTENANCE OR DEMOLITION WORK ON OR AROUND THIS BUILDING IS LIKELY TO INVOLVE PERSONS WORKING ABOVE GROUND LEVEL OR ABOVE FLOOR LEVELS.

WHERE THIS OCCURS ONE OR MORE OF THE FOLLOWING MEASURES SHOULD BE TAKEN TO AVOID OBJECTS FALLING FROM THE AREA WHERE THE WORK IS BEING CARRIED OUT ONTO PERSONS BELOW:

- 1. PREVENT OR RESTRICT ACCESS TO AREAS BELOW WHERE THE WORK IS BEING CARRIED OUT.
- 2. PROVIDE TOEBOARDS TO SCAFFOLDING OR WORK PLATFORMS.
- 3. PROVIDE PROTECTIVE STRUCTURE BELOW THE WORK AREA.
- 4. ENSURE THAT ALL PERSONS BELOW THE WORK AREA HAVE PERSONAL PROTECTIVE EQUIPMENT

DURING CONSTRUCTION, RENOVATION OR DEMOLITION OF THIS BUILDING, PARTS OF THE STRUCTURE INCLUDING FABRICATED STEELWORK, HEAVY PANELS AND MANY OTHER COMPONENTS WILL REMAIN STANDING PRIOR TO OR AFTER SUPPORTING PARTS ARE IN PLACE. CONTRACTORS SHOULD ENSURE THAT TEMPORARY BRACING OR OTHER REQUIRED SUPPORT IS IN PLACE AT ALL TIMES WHEN COLLAPSE WHICH MAY INJURE PERSONS IN THE AREA IS A POSSIBILITY

BUILDING COMPONENTS

MECHANICAL LIFTING OF MATERIALS AND COMPONENTS DURING CONSTRUCTION, MAINTENANCE OR DEMOLITION PRESENTS A RISK OF FALLING OBJECTS CONTRACTORS SHOULD ENSURE THAT APPROPRIATE LIFTING DEVICES ARE USED, THAT LOADS ARE PROPERLY SECURED AND THAT ACCESS TO AREAS BELOW THE LOAD IS PREVENTED OR RESTRICTED

3. TRAFFIC MANAGEMENT

FOR BUILDING ON A MAJOR ROAD, NARROW ROAD OR STEEPLY SLOPING ROAD: PARKING OF VEHICLES OR LOADING/UNLOADING OF VEHICLES ON THIS ROADWAY MAY CAUSE A TRAFFIC HAZARD

BUILDING DESIGNERS

DURING CONSTRUCTION, MAINTENANCE OR DEMOLITION OF THIS BUILDING DESIGNATED PARKING FOR WORKERS AND LOADING AREAS SHOULD BE PROVIDED. TRAINED TRAFFIC MANAGEMENT PERSONNEL SHOULD BE RESPONSIBLE FOR THE SUPERVISION OF THESE AREAS.

FOR BUILDING WHERE ON-SITE LOADING/UNLOADING IS RESTRICTED:

CONSTRUCTION OF THIS BUILDING WILL REQUIRE LOADING AND UNLOADING OF MATERIALS ON THE ROADWAY

DELIVERIES SHOULD BE WELL PLANNED TO AVOID CONGESTION OF LOADING AREAS AND TRAINED TRAFFIC MANAGEMENT PERSONNEL SHOULD BE USED TO SUPERVISE LOADING/UNLOADING AREAS FOR ALL

BUILDINGS

BUSY CONSTRUCTION AND DEMOLITION SITES PRESENT A RISK OF COLLISION WHERE DELIVERIES AND OTHER TRAFFIC ARE MOVING WITHIN THE SITE. A TRAFFIC MANAGEMENT PLAN SUPERVISED BY TRAINED TRAFFIC MANAGEMENT PERSONNEL SHOULD BE ADOPTED FOR THE WORK SITE.

4 SERVICES

RUPTURE OF SERVICES DURING EXCAVATION OR OTHER ACTIVITY CREATES A VARIETY OF RISKS INCLUDING RELEASE OF HAZARDOUS MATERIAL EXISTING SERVICES ARE LOCATED ON OR AROUND THIS SITE, WHERE KNOWN, THESE ARE IDENTIFIED ON THE PLANS BUT THE EXACT LOCATION AND EXTENT OF SERVICES MAY VARY FROM THAT INDICATED.

SERVICES SHOULD BE LOCATED USING AN APPROPRIATE SERVICE (SUCH AS DIAL BEFORE YOU DIG), APPROPRIATE EXCAVATION PRACTICE SHOULD BE USED AND, WHERE NECESSARY, SPECIALIST CONTRACTORS SHOULD BE

LOCATIONS WITH UNDERGROUND POWER: UNDERGROUND POWER LINES MAY BE LOCATED IN OR AROUND THIS SITE.

ALL UNDERGROUND POWER LINES MUST BE DISCONNECTED OR CAREFULLY LOCATED AND ADEQUATE WARNING SIGNS USED PRIOR TO ANY CONSTRUCTION, MAINTENANCE OR DEMOLITION

LOCATIONS WITH OVERHEAD POWER LINES:

OVERHEAD POWER LINES MAY BE NEAR OR ON THIS SITE. THESE POSE A RISK OF ELECTROCUTION IF STRUCK OR APPROACHED BY LIFTING DEVICES OR OTHER PLANT AND PERSONS WORKING ABOVE GROUND LEVEL. WHERE THERE IS A DANGER OF THIS OCCURRING, POWER LINES SHOULD BE, WHERE PRACTICAL, DISCONNECTED OR RELOCATED.

WHERE THIS IS NOT PRACTICAL ADEQUATE WARNING IN THE FORM OF BRIGHT COLOURED TAPE OR SIGNAGE SHOULD BE USED OR A PROTECTIVE BARRIER PROVIDED.

5. MANUAL TASKS

COMPONENTS WITHIN THIS DESIGN WITH A MASS IN EXCESS OF 25KG SHOULD BE LIFTED BY TWO OR MORE WORKERS OR BY MECHANICAL LIFTING DEVICE, WHERE THIS IS NOT PRACTICAL SUPPLIERS OR FABRICATORS SHOULD BE REQUIRED TO LIMIT THE COMPONENT MASS.

ALL MATERIAL PACKAGING, BUILDING AND MAINTENANCE COMPONENTS SHOULD CLEARLY SHOW THE TOTAL MASS OF PACKAGES AND WHERE PRACTICAL ALL ITEMS SHOULD BE STORED ON SITE IN A WAY WHICH MINIMISES BENDING BEFORE LIFTING. ADVICE SHOULD BE PROVIDED ON SAFE LIFTING METHODS IN ALL AREAS WHERE LIFTING MAY OCCUR.

CONSTRUCTION, MAINTENANCE AND DEMOLITION OF THIS BUILDING WILL REQUIRE THE USE OF PORTABLE TOOLS AND EQUIPMENT. THESE SHOULD BE FULLY MAINTAINED IN ACCORDANCE WITHMANUFACTURER'S SPECIFICATIONS AND NOT USED WHERE FAULTY OR (IN THE CASE OF ELECTRICAL EQUIPMENT) NOT CARRYING A CURRENT ELECTRICAL SAFETY TAG.

ALL SAFETY GUARDS OR DEVICES SHOULD BE REGULARLY CHECKED AND PERSONAL PROTECTIVE EQUIPMENT SHOULD BE USED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATION.

6. HAZARDOUS SUBSTANCES

ASBESTOS

FOR ALTERATIONS TO A BUILDING CONSTRUCTED PRIOR TO 1990:

IF THIS EXISTING BUILDING WAS CONSTRUCTED PRIOR TO:

1990 - IT THEREFORE MAY CONTAIN ASBESTOS

1986 - IT THEREFORE IS LIKELY TO CONTAIN ASBESTOS

EITHER IN CLADDING MATERIAL OR IN FIRE RETARDANT INSULATION MATERIAL, IN EITHER CASE, THE BUILDER SHOULD CHECK AND, IF NECESSARY, TAKE APPROPRIATE ACTION BEFORE DEMOLISHING. CUTTING, SANDING, DRILLING OR OTHERWISE DISTURBING THE EXISTING STRUCTURE

POWDERED MATERIALS

MANY MATERIALS USED IN THE CONSTRUCTION OF THIS BUILDING CAN CAUSE HARM IF INHALED IN POWDERED FORM. PERSONS WORKING ON OR IN THE BUILDING DURING CONSTRUCTION, OPERATIONAL MAINTENANCE OR DEMOLITION SHOULD ENSURE GOOD VENTILATION AND WEAR PERSONAL PROTECTIVE EQUIPMENT INCLUDING PROTECTION AGAINST INHALATION WHILE USING POWDERED MATERIAL OR WHEN SANDING, DRILLING, CUTTING OR OTHERWISE DISTURBING OR CREATING POWDERED MATERIAL.

TREATED TIMBER

THE DESIGN OF THIS BUILDING MAY INCLUDE PROVISION FOR THE INCLUSION OF TREATED TIMBER

Certificate No. # A5TMQD1FYL Scan QR code or follow website link for rating details Stephen Burgum HERA10245 A/-/DP321050, 35 Dennis

WITHIN THE STRUCTURE. DUST OR FUMES FROM THIS MATERIAL CAN BE HARMFUL. PERSONS WORKING ON OR IN THE BUILDING DURING CONSTRUCTION, OPERATIONAL MAINTENANCE OR DEMOLITION SHOULD ENSURE GOOD VENTILATION AND WEAR PERSONAL PROTECTIVE EQUIPMENT INCLUDING PROTECTION AGAINST INHALATION OF HARMFUL MATERIAL WHEN SANDING DRILLING CUTTING OR USING TREATED TIMBER IN ANY WAY THAT MAY CAUSE HARMEUL MATERIAL TO BE RELEASED. DO NOT BURN TREATED TIMBER

VOLATILE ORGANIC COMPOUNDS

MANY TYPES OF GLUE, SOLVENTS, SPRAY PACKS, PAINTS, VARNISHES AND SOME CLEANING MATERIALS AND DISINFECTANTS HAVE DANGEROUS EMISSIONS. AREAS WHERE THESE ARE USED SHOULD BE KEPT WELL VENTILATED WHILE THE MATERIAL IS BEING USED AND FOR A PERIOD AFTER

PERSONAL PROTECTIVE EQUIPMENT MAY ALSO BE REQUIRED. THE MANUFACTURER'S RECOMMENDATIONS FOR USE MUST BE CAREFULLY CONSIDERED AT ALL TIMES. SYNTHETIC MINERAL FIBRE FIBREGLASS, ROCKWOOL, CERAMIC AND OTHER MATERIAL USED FOR THERMAL OR SOUND INSULATION MAY CONTAIN SYNTHETIC MINERAL FIBRE WHICH MAY BE HARMEUL IF INHALED OR IF IT COMES IN CONTACT WITH THE SKIN, EYES OR OTHER SENSITIVE PARTS OR THE BODY, PERSONAL PROTECTIVE EQUIPMENT INCLUDING PROTECTION AGAINST INHALATION OF HARMFUL MATERIAL SHOULD BE USED WHEN INSTALLING, REMOVING OR WORKING NEAR BULK INSULATION MATERIAL.

THIS BUILDING MAY CONTAIN TIMBER FLOORS WHICH HAVE AN APPLIED FINISH AREAS WHERE FINISHES ARE APPLIED SHOULD BE KEPT WELL VENTILATED DURING SANDING AND APPLICATION AND FOR A PERIOD AFTER INSTALLATION, PERSONAL PROTECTIVE EQUIPMENT MAY ALSO BE REQUIRED. THE MANUFACTURER'S RECOMMENDATIONS FOR USE MUST BE CAREFULLY CONSIDERED AT ALL TIMES

7. CONFINED SPACES

EXCAVATION

CONSTRUCTION OF THIS BUILDING AND SOME MAINTENANCE ON THE BUILDING WILL REQUIRE EXCAVATION AND INSTALLATION OF ITEMS WITHIN EXCAVATIONS. WHERE PRACTICAL, INSTALLATION SHOULD BE CARRIED OUT USING METHODS WHICH DO NOT REQUIRE WORKERS TO ENTER THE EXCAVATION. WHERE THIS IS NOT PRACTICAL, ADEQUATE SUPPORT FOR THE EXCAVATED AREA SHOULD BE PROVIDED TO PREVENT COLLAPSE. WARNING SIGNS AND BARRIERS TO PREVENT ACCIDENTAL OR UNAUTHORISED ACCESS TO ALL EXCAVATIONS SHOULD BE PROVIDED.

ENCLOSED SPACES

FOR BUILDINGS WITH ENCLOSED SPACES WHERE MAINTENANCE OR OTHER ACCESS MAY BE REQUIRED

ENCLOSED SPACES WITHIN THIS BUILDING MAY PRESENT A RISK TO PERSONS ENTERING FOR CONSTRUCTION, MAINTENANCE OR ANY OTHER PURPOSE, THE DESIGN DOCUMENTATION CALLS FOR WARNING SIGNS AND BARRIERS TO UNAUTHORISED ACCESS. THESE SHOULD BE MAINTAINED THROUGHOUT THE LIFE OF THE BUILDING WHERE WORKERS ARE REQUIRED TO ENTER ENCLOSED SPACES, AIR TESTING EQUIPMENT AND PERSONAL PROTECTIVE EQUIPMENT SHOULD BE PROVIDED

SMALL SPACES

FOR BUILDINGS WITH SMALL SPACES WHERE MAINTENANCE OR OTHER ACCESS MAY BE REQUIRED:SOME SMALL SPACES WITHIN THIS BUILDING WILL REQUIRE ACCESS BY CONSTRUCTION ORMAINTENANCE WORKERS. THE DESIGN DOCUMENTATION CALLS FOR WARNING SIGNS AND BARRIERS TO UNAUTHORISED ACCESS, THESE SHOULD BE MAINTAINED THROUGHOUT THE LIFE OF

WHERE WORKERS ARE REQUIRED TO ENTER SMALL SPACES THEY SHOULD BE SCHEDULED SO THAT ACCESS IS FOR SHORT PERIODS. MANUAL LIFTING AND OTHER MANUAL ACTIVITY SHOULD BE RESTRICTED IN SMALL SPACES.

8. PUBLIC ACCESS

PUBLIC ACCESS TO CONSTRUCTION AND DEMOLITION SITES AND TO AREAS UNDER MAINTENANCE CAUSES RISK TO WORKERS AND PUBLIC. WARNING SIGNS AND SECURE BARRIERS TO UNAUTHORISED ACCESS SHOULD BE PROVIDED. WHERE ELECTRICAL INSTALLATIONS, EXCAVATIONS, PLANT OR LOOSE MATERIALS ARE PRESENT THEY SHOULD BE SECURED WHEN NOT FULLY SUPERVISED.

9. OPERATIONAL USE OF BUILDING

RESIDENTIAL BUILDINGS

THIS BUILDING HAS BEEN DESIGNED AS A RESIDENTIAL BUILDING, IF IT, AT A LATER DATE, IT IS USED OR INTENDED TO BE USED AS A WORKPLACE, THE PROVISIONS OF THE WORK HEALTH AND SAFETY ACT 2011 OR SUBSEQUENT REPLACEMENT ACT SHOULD BE APPLIED TO THE NEW USE.

10.OTHER HIGH RISK ACTIVITY

ALL ELECTRICAL WORK SHOULD BE CARRIED OUT IN ACCORDANCE WITH CODE OF PRACTICE: MANAGING ELECTRICAL RISKS AT THE WORKPLACE, AS/NZ 3012 AND ALL LICENSING REQUIREMENTS. ALL WORK USING PLANT SHOULD BE CARRIED OUT IN ACCORDANCE WITH CODE OF PRACTICE: MANAGING RISKS OF PLANT AT THE WORKPLACE, ALL WORK SHOULD BE CARRIED OUT IN ACCORDANCE WITH CODE OF PRACTICE:MANAGING NOISE AND PREVENTING HEARING LOSS AT WORK.DUE TO THE HISTORY OF SERIOUS INCIDENTS IT ISRECOMMENDED THAT PARTICULAR CARE BE EXERCISED WHEN UNDERTAKING WORK INVOLVING STEEL CONSTRUCTION AND CO PLACEMENT DA PACKAGE

ALL THE ABOVE APPLIES

BUILDAID CONSULTING SERVICES

35 DENNIS STREET LAKEMBA 2195 NSW

DEMOLITION OF EXISTING DWELLING AND CONSTRUCTION OF NEW SEMI - ATTACHED DUAL OCCUPANCY DOUBLE STOREY WITH GRANNY AND STUDIO AT REAR

NTS 23/06/2025 12:35:22 PM RV DRAWING NO DA -

DESIGN SAFETY NOTES

DRAWING TITLE

info@ecofactor.com.au

SUITE 1, LEVEL 2, 215-219 GEORGE ST., LIVERPOOL 2170, NSW, Australia. P: 1300 326 322

eco factor Pty Ltd

MEMBER:

YOU DIG

and instructions and to comply with relevant Australian Standards

This drawing is the property of ECO.FACTOR PTY LTD and shall not be used in full or in part without consent of ECO.FACTOR PTY LTD - Figured dimensions are to take preference over scaled dimensions. - Bullder shall be held responsible to verify all dimensions/levels on site & notify any discrepancy to ECO.FACTOR PTY LTD All materials are to be used in accordance with manufacturer's specifications

eco.factor Design Solutions

THE FOLLOWING STANDARDS MAY BE REFERRED TO IN THIS DRAWING: AS 1288 GLASS IN BUILDINGS - SELECTION AND INSTALLATION

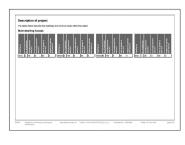
THE DISCUSSION AND ADMINISTRATION OF THE PART OF THE P TAG SYMBOLS

W# WINDOW TAG DO NOT SCALE, USE FIGURED DIMENSIONS ONLY, VERIFY ALL LEVELS AND DIMENSIONS ON SITE BEFORE COMMENCING CONSTRUCTION, FABRICATION, OR SHOP DRAWINGS. © COPYRIGHT, ALL RIGHTS RESERVED.

WALL TAG D# DOOR TAG













			Fisher			App	facces		India	idual pod				MANAGED	94
3	-	E.	11.00 10.00 10.00	All	HA Minimalation Minimalation	<u></u>	All disch	11	=	2	22.		ilion W Rock	1::-	Printer.
	Ester (r 4,5 bit e 6 Limb)	14 ster	1 100	4 star			1	-	ľ			ľ			
							Marsa	an weeker we							
	- :	**		**					Landra	22 12 23 23 24	T IS		-		Spa tro-up
Auding	10	idea mater	aria (No.	Turk sine (ne) 2000 Sere	Copper Copper COrago	re nation of	prior and a	en steet	*	-		-	Ī	-	~
(Freng											OA.		Shew o	in CCICGC	Cartiflar
() Flance	picarco city be	retent for	th had went	r system qu sifes a lord	and balons in our softed for the di solitori ender app had senter in his	serting in the	racio belos, r declina, Pers	o flat the de the market				,		~	~
THE RE	pécart m	of install, in-	out bath	nom, Moher system must	and bundy of	the dealing by control to	the vertible perifector Ex	Te Side.	offed for t	ha roon is				~	~
The sp feeding cooling early feeder	ploat n god fe po heat ree. It is	antimated the Creating" and operation is a starm. Transposes and bed	resting a Meaning perified in " a speci rooms.	el handing ey columns in the table for fact handle of	to take to be 1, stop or mon'	i for the des infor at lease or "Bedroom graphen, fo	ding under the a 1 hologitude areas". Then i an the system	*Listing area non area of se synderse o must provide	the destin my be ind for dayle	g Free wheel in early ight remong				~	~
Spring Spring Spring	the bestire of the most and the most	But way to the	the dead	pecified for It ling in Raises Den Ein Spiti	dealing which of term of me man lighting or Minge in that o	of the spation	and hard one	are find the 's	ornery to	er of a life: decided in	1			~	~
															page

							Show on Off. plans	Show on 00/000 plant & specia	Cursifie
	eri agples to ear er but enty to the trabes and/or sky		file deal	ding which is referred soon or week). The app	the in a heading to the "Natio prigard must ensure that each	nd lighting' column of h such team or smalls	~	-	~
(g) This committee	erit applies if the	marker twist	a mater t		e deading's pool of spe. The	applicant must			-
pot retai	To system speci system for the po-	feet for the poor in. If specified, I	in the 'the	distant Poor course and must recial a lime	of the table below for after to, to excited the people pump	atively must not netter		-	
			in the "Ind	histari fipe" educer- ed mad helid a line	of the table below for others the control the spain pump.	thosy must not insted		-	
DITTO APPROVE	material of	Berthing.							-
(m) the bi	than moting at below,	of own specifie	the Bad o	dwelling in the 'Applie	ross & other efficiency man	moved orders of the		-	
(b)(co.t.	appliance for while alon, and ensure	the rating it up that the appliant	octed for in his the	that deading in the "I decimals rating are	Appliances & other efficiency d	nessures' solution of		-	-
(iii) ery ii	aber dying tree	operated for the	desting	in the "Appliances &-c	other efficiency measurer" o	dure of the bole.		-	
() if specified in the	he bable. the appl	cest musicary	not the de	evelopment so that ex	with telligerator space in the	twelf it 'well		-	Т
O'The applicant of When white or	read iredail for pri vergy' esturno of				der the "Protocollate applier Gestling's electrical applier	Teatiquibe	~	~	-
	had water	late (man w	olision syvien	Khihan re	rifetion system		aundry vanilation s	eten.
Swelling Half	water system.	Each before		Openhar centra					
to gas in	ebrisnens : S	Indiabas Ser. to Sepade or r	dicted of	manual surface or co	Individual fan, ducted to tagade or ned	manual session consti	individual to faquete	br, dutted manual should	salik (r))
		for	Ang.			Peeding	_	Natural Inch	
	Dates sense		***		Dring steam	hadron areas	- 1:	of laterooms	Main Injing
Facility to.			14768	arconditioning - 2 star (average)	1 phese aroundhiring - ducted / 2 star (armisia	1-phase arroandton during 12 star (pres)		- 1	96
Deathing sa. Siny, 510	1 phase aroon ducked / 2 ster pane)		med .		(500)	mre)			





	Final hypes										
	_	Cone	ere side an gr	thursd.	_	Responded to	nir dayre smile	ari kulafasar			e open subfiner
Deathing on.	A44 (117)	handelin	LOT		And or	Construction type	Area (ef)		Constructi		n investment
Gray	51	l-	1-	enfle pot			F F		F	-	16
Side	10			enfly yet							
Allester	99	1		andle pai						1	1
	Floor types										
	Fine fo	or store he	onethe contract	Suspend	ed Roor et	ove busine			Garage 8		
Specifing No.		Area (er/)		Construction Spin	****		Complexation 1984	Ame (n')	incidite	Lett sentences spines	Genetadas
Grey, State	particle brand, frame, findow continued authorized	62		particle loans, frame, britise carbonaled authorized	14		on ground on ground	•		nare.	maffer pert size
All other deadings	particle brant flame bridger curticated auflessed	e2		particle board, frame bidger contrasted anhanced	ч		on pound	20			enellie post sinti
	Edona	walls									
	_		Estato	Frank type 1						tore it	
Dealling to.	Mad typ					ur prolessiona Espo	Wall type				Low probably spillur
Ony	trans to trans to unbeate software	nter		Strengtons had not			5	ľ			
	Stok were	ter. (8)		Strenglans had			-	1	-		

	Estated walls		armed most frame to					Esternal		
	at the second				-	NAME OF TAXABLE PARTY.			householder.	Personal Property lies
heating to				Literatura Santan	100	West type			histories.	Low and allow
	- privated softward									
	his www. have finter - principal unfaced	140	Streets to			famed (fire owner) does boards), feet order owner offeried	1GR		foregions had a or not	
	Estatud walls									_
			and self type 5						and type 4	
lumbing sa.		Ansa (m)		Law year system		Wall type	٨.		Invalidad	Low and above
i rwelings		1	-							
	Internal matter									_
	Hen	s berede ellers in	On garage		-	and type 1			Internal wall by	5 90
				With Sign		(M)		MIR SON		
ry .	1		1	placetowi. Name (Index primated	**			1	1	
Me	1			platetowit have linker attended softward	29				1	
	plederboard, frame limber untileged	34	1	platetest. have trear universel	137				1	-

	College and re-	oetting (pitch			ing/oriched or			Flat culting I for	
Owntring no.	Construction 1994	Ana peri	Invalidae	Construction type	Area (HF)	Paulation	Construction 100	A44 (III)	hodde
ûny.	formed - meter cod, forme timber -unbested pathernal	0	Calling Streeghees baths or red, Rend fluid backed Starbert			Cultip/bad			Cating Steel
State	fored - nets not, fore inter unleaded adhesid	*	Culting Streigheis Settle or 615, Roof für Sankert Bankert			Cetting. Real			Cetting Float
At other dwellings	toned - nets out, form linker -untraded edfamed	167	Colling Strengtons looks or mit. Reset find backed Starker			Celling; Nort			Cating Soot
		Gladin					frame types		
	Bryle plat	Condition of	Castling Triples plan	Comp Atomic	S. 125	- tane	VC hares 8	Blad Francis (cr)	Compress Senses (er)
Gray, Billio All-other dealings	40			49	=	-			

t. Commitments for single dwelling houses at Dwellinas			
(t Avair	Show on Citylana	Show on CC/CCC plant & specia	Cartife
(c) The applicant must comply with the connectments total before in carrying out the development of a deading total in a table before.			$\overline{}$
b) The applicant must plant indigenous or har water one species of neglection forcepted the area of hard specified for the deading in the "indigenous species" counts of the table below, as provide individually not deading (1) to asset of objectives registronic table in contract of their final of plants and learn for the deading secretion in the "Securities or Primaria" below.	~	~	
(i) If a rating is specified in the sales below for a foliary or applicance to be installed in the dwelling, the applicant must ensure that each such foliars and applicant must be rating specified for it.		~	~
(d) The applicant must install an on demand had seek recirculation system which suplates all har seek rose throughout the deading, where included for a deading in the "VM recirculation or discretion" column of Endelte below.		~	~
(a) The applicant must install.			
(so) a hat water discript surfact to all showers, etchan place and all beans a the deeling, where indicated for a deeling in the "MR moleculation or diversion" column of the faller better and		~	-
(bit) a separate discriminativity for terrior, connected to the fast water discrimin systems of all wast 130 filters. The applicant must convent the helicular discrimination to it is before in the desiring.		~	-
(c) The applicant must not install a private swimming peol or ups for the dwelling, will a volume exceeding that specified for it in the liable latins.	~	~	
(f) if specified in the labbs, that pool or specific labb) must have a pool array or shealing by labb).		~	П
(g) The pool or spe must be located as specified in the bible.	~	~	
(f) The applicant round inside, for the desirting weak selectualize notice rought pushers, with the specified rice, total the final desirting in the below below. Each explaint round be configured to collect on-off from the ameniopse final controlled any exist shopping any other alternative union analysis specified, below could be applicable.	*	~	~
(It freely	Show on Dilipiana	Show on COCCCC place & speed	Corpfic
(a) The applicant must compty with the commitments listed before in comying out the development of a shooting brief in a liste before.			
(b) The applicant must install each hot water explain specified for the deading in the tritle before, so that the deading is had eater is suggested to the seather. If the before specifies a control and research specifies a control and executing specifies and produced must control produce in the deading, and that the deading should produce the country of specifies and the produce of the dead applicat.	~	~	~
(i) The applicant must halid, in each beforces, Kibber and learning of the deading, he renderior system specified for find more in the table. Each such similation system must have the operation control specified for it in the table.		~	~

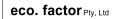
(I) Energy	Show on OA years	Show on COICOC plans & specs	Cost
(ii) The agricultural control for excessing and heading syde has questioned for the descript under the Turbing series." And "Their some and "T		-	*
(c) This contributed against it with transverse man of the describing which is related to it in a transfer to the "first following frighting" colored for the first field before during the secretary appealed for the described in secretary and in the primary face of a finding for the first field in particular for the color colored in the primary face of a finding for the colored field in the primary face of the field in particular for the colored for the field in the primary face of the field in particular field in the primary face of the field in the particular field in the field in t		-	*
f) This commitment applies is such narrow area of the desting which is referred byte a feesing to the "history lighting" outcome? This below (but not you have appealed for that more or area.) The applicant most arrows that such such such soon or area. In this of with a subsect policy and suited.	~	~	~
(g) This commitment applies if the applicant reliabs a water heading system for the deeding's pool or sign. The applicant must			-
(so) habilitie system specified for the post in the "Indextual Pool" column of the state below (or attendable) must not noted any cycles for the pool). If specified, the applicant must restal a time, to control the pool's pump, and		~	
(66) helid the system specified for the spo to the "nativitial Sign" column of the both below for attendantly must not install any system for the spoil. If specified, the applicant must noded a timer in control the spots pump.		~	
(i) The applicant macrimetal in the denting			-
(an) the billion most day and over specified for that dending in the "Appliances E-other efficiency measures" outcomed the mode below:		~	
(bit) each appliance for which a noting is operfied for that dearling in the "Appliances & other efficiency beassives" column of the falls, and ensure that the appliance has that notinears rating and		~	-
(ic) any district dying the specified for the dealing in the "Appliances & other efficiency inscourse" countrief table.		~	
 if specified in the below the applicant must sury out the development so that each effigurator special the develop is "and we detect". 		~	
() The agebook must install the photovolate option specified for the dueling under the "Probondist eyelen" heading of the "libernative energy" source of the balls below, and control the system in that deatings electrical system.	v	~	-
(N) Thermal Puriformance and Materials	Show on GA plans	Show on COICEC plans & spens	Cest
(i) The applicant must alkalin his contilinate referred to under "denominal related" on the fore) page of the RADIX contilinate that "Assessor Contilinating to the Contilination of the Contilination			

II Thermal Performance and Midartals	Show on Oil plans	Show on 00/000 plans & speck	CUSSEL
I The Aspessor Certificate most have been bound by an Aspressed Assessor in accordance with the Thermal Combat Probacal.	-		_
() The details of the proposed development on the Assessor Certificate model be consistent with the details shown in the STACK Certificate, including the details shown in the "Thermal Loads" table below.			
f) The applicant must show on the plans accompanying the development application for the proposed development, of melters which the "theoration and probability applies to be shown on those plans. Those plans must be a starte of endorsement than the Assembled development, trends to the time for many and	~		
) The applicant must show on the plans accompanying the application for a construction certificate (or complying development swiftches, it registed, at the employment prefer transce applications and out in the Assessor Certificate, and all expects of the proposed development shock were seen to exclude these positionates.		~	
The applicant must construct the development in accordance with all thermal performance operational and in the Assessor Castilinae, and in accordance with foreign appearance depolaries or application for a complying development cartificate which were used to calculate those appearance operations.		~	~
() More there is an it-shall heading or cooling against, the applicant must	~	~	~
(out) hold insulation with an Kreake of nations than 1.0 around the certical edges of the perimater of the side, or			
(bit) On a suspended floor, rand translation with an ill-value of notions from 1.6 underwealt floorists and around the surface valges of the particular of the state.			
() The applicant must construct the foom and wells of the development in accordance with the specifications listed in the table below	~	~	v
The applicant must show an The plans accompanying The development application for The proposed development, The locations is safing farm and and in The Assesser Cardinals.			
The applicant must show on the plans accompanying the application for a construction certificate (or complying decelopment certificate, if application), the troophose of certificate or disclining Certificate.		~	









SUITE 1, LEVEL 2, 215-219 GEORGE ST., LIVERPOOL 2170, NSW, Australia. P: 1300 326 322 info@ecofactor.com.au www.ecofactor.com.au



MEMBER:

PEFORE

CONTROL OF STANDARD ST

TAG SYMBOLS W# WINDOW TAG

WALL TAG D# DOOR TAG DO NOT SCALE, USE FIGURED DIMENSIONS ONLY, VERIFY ALL LEVELS AND DIMENSIONS ON SITE BEFORE COMMENCING CONSTRUCTION, FABRICATION, OR SHOP DRAWINGS. © COPYRIGHT. ALL RIGHTS RESERVED Certificate No. # A5TMQD1FYL Scan QR code or follow website link for rating details Stephen Burgum HERA10245 A/-fDP321050, 35 Dennis Street, Lakemba, VIC, 2195

BUILDAID CONSULTING SERVICES

DEMOLITION OF EXISTING DWELLING AND CONSTRUCTION OF NEW SEMI - ATTACHED DUAL OCCUPANCY DOUBLE STOREY WITH GRANNY AND STUDIO AT REAR

35 DENNIS STREET LAKEMBA 2195 NSW

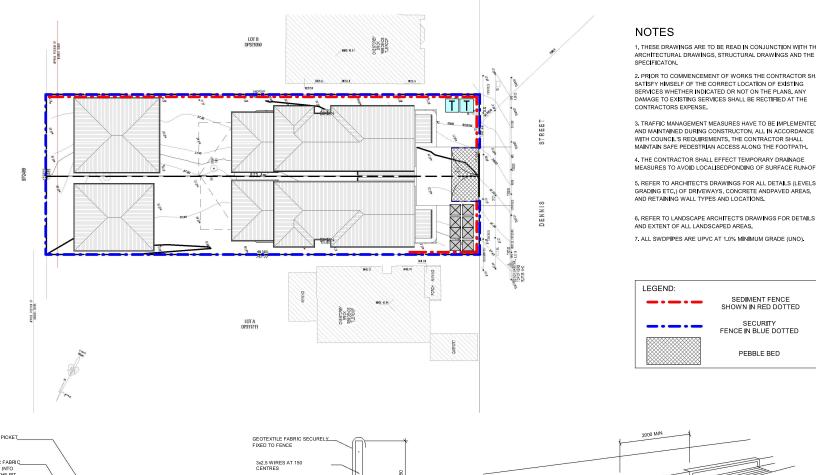
DA PACKAGE

DRAWING TITLE BASIX CERTIFICATE

SCALE 23/06/2025 12:35:27 PM DRAWN RV

DA - 20

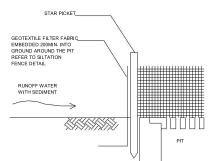
SEDIMENT AND EROSION PLAN



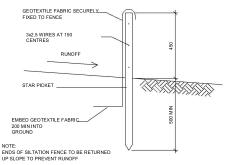
- 1. THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE ARCHITECTURAL DRAWINGS, STRUCTURAL DRAWINGS AND THE
- 2. PRIOR TO COMMENCEMENT OF WORKS THE CONTRACTOR SHALL SATISFY HIMSELF OF THE CORRECT LOCATION OF EXISTING SERVICES WHETHER INDICATED OR NOT ON THE PLANS, ANY DAMAGE TO EXISTING SERVICES SHALL BE RECTIFIED AT THE
- 3. TRAFFIC MANAGEMENT MEASURES HAVE TO BE IMPLEMENTED AND MAINTAINED DURING CONSTRUCTON, ALL IN ACCORDANCE WITH COUNCIL'S REQUIREMENTS. THE CONTRACTOR SHALL MAINTAIN SAFE PEDESTRIAN ACCESS ALONG THE FOOTPATH.
- 4. THE CONTRACTOR SHALL EFFECT TEMPORARY DRAINAGE MEASURES TO AVOID LOCALISEDPONDING OF SURFACE RUN-OFF.
- 5. REFER TO ARCHITECT'S DRAWINGS FOR ALL DETAILS (LEVELS. GRADING ETC.) OF DRIVEWAYS, CONCRETE ANDPAVED AREAS. AND RETAINING WALL TYPES AND LOCATIONS.

- 8. SWDPITS CAN BE PRE-CAST SIZED AS FOLLOWS: 450mm SQ. UP TO 600mm DEEP 600mm SQ, UP TO 1000mm DEEP
- 9. ALL PITS LOCATED IN TRAFFICABLE AREAS. (IE. DRIVEWAYS) TO HAVE MEDIUM DUTY GRATED COVERS SUITABLE FOR WITHSTANDING LOADS ASSOCIATED WITH SMALL TRUCKS.
- 10. PROVIDE STEP IRONS TO ALL PITS GREATER THAN 1.2m DEEP
- 11. THE CONTRACTOR SHALL IMPLEMENT ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO COMMENCEMENT OF
- 12. TOPSOIL SHALL BE STRIPPED DN STOCKPILED OUTSIDE HAZARD AREAS SUCH AS DRAINAGE LINES, THIS TOPSOIL IS TO BE RESPREAD LATER ON AREAS TO BE REVEGETATED.
- 13. THE CONTRACTOR SHALL REGULARLY MAINTAIN ALL SEDIMENT AND EROSION CONTROL DEVICES AND REMOVE ACCUMULATED SILT FROM SUCH DEVICES, ALL SILT REMOVED SHALL BE DISPOSED OF AS DIRECTED BY THE SUPERINTENDENT. THE PERIOD FOR MAINTAINING THESE DEVICES SHALL BE AT LEAST UNTIL ALL DISTURBED AREAS ARE REVEGETATED AND FURTHER AS MAY BE DIRECTED BY THE SUPERINTENDENT OR COUNCIL.
- 14. THE CONTRACTOR SHALL MAINTAIN DUST CONTROL UNTIL FINAL COMPLETION OF WORKS.

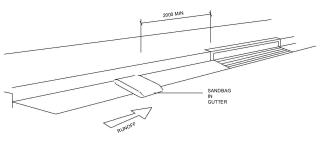




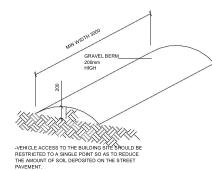




SILTATION FENCE DETAIL



SANDBAG KERB INLET SEDIMENT TRAP



7.5 m 3 0 m VEHICLE ACCE

eco. factor Pty. Ltd

SUITE 1, LEVEL 2, 215-219 GEORGE ST., LIVERPOOL 2170, NSW, Australia. P: 1300 326 322 info@ecofactor.com.au www.ecofactor.com.au



YOU DIG

eco.factor Design Solutions

This drawing is the property of ECOLACIDE PRY LTD and shall not be used in full or in and shall not be used in full or in a most shall not be used in full or in the shall be used in the shall be the shall be hald responsible to verify all dimensions/fevels on site & notify any discrepancy to ECOLACIDE PRY LTD. - All materials are to be used in accordance with manufacturer's specifications and instructions and to comply with relevant Australian Standards.

THE FOLLOWING STANDARDS MAY BE REFERRED TO IN THIS DRAWING: AS 1286 GLASS IN BUILDINGS - SELECTION AND INSTALLATION E FOLLOWING TRANSMISS MAY BE REFIRSED TO IN 14 E FARMER

TO SO ONES IN SALINOW SHEETEN AND PARTICULAR OF THE SERVICE OF THE SE TAG SYMBOLS W# WINDOW TAG

WALL TAG D# DOOR TAG DO NOT SCALE, USE FISURED DIMENSIONS ONLY, VERIFY ALL LEVELS AND DIMENSIONS ON SITE BEFORE COMMENCING CONSTRUCTION, FABRICATION, OR SHOP DRAWINGS.



BUILDAID CONSULTING SERVICES

DEMOLITION OF EXISTING DWELLING AND CONSTRUCTION OF NEW SEMI - ATTACHED DUAL OCCUPANCY DOUBLE STOREY WITH GRANNY AND STUDIO AT REAR

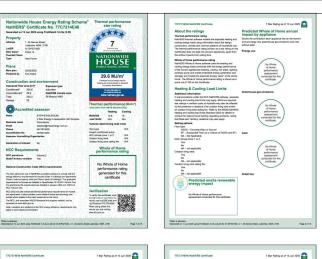
35 DENNIS STREET LAKEMBA 2195 NSW

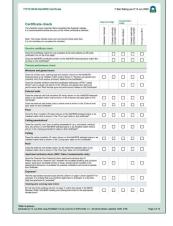
DA PACKAGE

SEDIMENT AND EROSION PLAN 23/06/2025 12:35:27 PM

As indicated RV

DA DA - 15 0 m









77C7214E46 Not	HERS Certificate					7 Star Rating	as of 13 Jun	n 2025
RYL-363-640 A	AA Series Stiding Lightlividge_Clid		2:	87	0.49	0.6		0.51
Window and	d glazed doo	r schedule						Window
Location	Window ID	Window no.	Height [mm]	West [mm]	Window type	Opening %	Orientation	shading
Office	RYL-042-401 A	we	1200	1810	siding	46.0	16	No
Fomal	RYL-342-401 A	WI	1800	1810	sideq	30.0	NE:	No
Fomal	RYL-372-321 A	D1	2400	820	casement	90.0	NE	No
Fomal	RYL-302-001 A	W2	2100	1310	fixed	0.0	NW	No
Partry	RYS-042-401 A	ws	800	1210	sideq	45.0	16	Ne
Kitch/DinUvin- a	RY1-342-401 A	W4	600	1810	sides	45.0	SE	No
Kitch/Dint.ivin- g	RYS-042-401 A	wa	1200	1810	sidne	45.0	NW	No
Kitch DiviLivin. g	AW5-017-02 A	06	2400	2710	oher	90.0	sw	No
Rest Section 2	RY1-342-401 A	W4G	1200	1510	sides	45.0	SE	No
Rear Bedroom 1	RYS-042-401 A	WIG	1200	1510	sides	45.0	56	No
Rear Kitchen	890.312.101 A	W10	1800	850	merina	45.0	M	No
Rear Kitchen	RYL-342-401 A	W99	1200	1510	sides	45.0	NW	No.
Rear Kitchen	RYS-342-401 A	W29	600	1210	sides	45.0	NW	No
Beer Kilchen	MAN WAY AND A	DAG	2400	2410	siden	45.0	SW	No
Geor Both	DATE OF THE PARTY OF	WSG	A00	850	siding	45.0	50	No.
Retroom 3	RYS. 042-401 A	WE	900	1810	sides	10.0	SW	No.
Between 2	RYS -342-401 A	W10	900		sideg	10.0	581	No.
Study	RYL-342-401 A	W11	600	1810	siding	45.0	56	No.
Street	RYS. 042-401 A	we	900	1810	sideq	45.0	NW.	No.
Betroom !	RYL-342-401 A	WH	600		siding	45.0	55	No.
Betroon 1	RYS-300-001 A	WT	1000		feed	60	NE.	No.
Bedroom 1	RYL-303-640 A	D7	2400	1810	elding	46.0	ME	No.
Betroon 1	HYL-362-660 A	W12	800	800	sates	45.0	38	No.
Bath Ensule	RYL-342-401 A	M13	800	850	siding	45.0	56	No.
	w" type and		e valu	0			tution tolerar	
				oonen			erimi SH	
Window ID	Window 6	escription	ų.	railer"	8450"	55,500,00		00 1000 0
No Data Available Gualom* roof wind						Salasi	lution toleran	nce ranges
Custom* roef wind	lovis					Batasi	lution toleras	ree ranges



77C7214E46 NutHERS Cert	ficate				7 Star	Rating as of 13 Jun 202
Garage	3	2825	3281	NE	0	Yes
Office	4	2740	2009	58	0	Yes
Formal	4	2740	636	SW.	0	Yes
Formi	5	2740	1004	56	0	Yes
Pome	8	2740	3796	146	1183	No
Fonel	4	2740	9805	NW	0	Yes
Pantry	4	2740	5498	56	0	Yes
KNAYONLAing	4	2740	2461	86	448	Yes
Kitch/DinfLiving	4	2740	4432	88	0	Yes
Kitch/DiniLiving	4	2740	2799	NW	0	Yes
Kish/DinfLiving	4	2740	6120	NW	669	Yes
Kitch/Dinit.iving	4	2740	5244	BW	2433	Yes
Rear Bedroom 2	6	2740	9007	SE	0	Yes
Rear Bedroom 2	- 6	2740	3613	SW	0	No
Rear Bedroom 1	6	2740	2991	66	0	Yes
Rear Bedroom 1	6	2740	3509	NE	0	Yes
Rear Bedroom 1		2740	1291	NW	0	Yes
Rear Kilchen	6	2740	3207	NE	0	Yes
Rear Kitchen	6	2740	6605	NW	0	No
Rear Köchen		2740	3207	SW	D	No
Rear Birth	6	2740	1922	50	0	Yes
Sedroom 3	7	2740	9010	SW	449	No
Sedroom 3	7	2740	602	NW	0	Yes
Bedroom 3	7	2740	853	NE	460	Yes
Bedroom 3	7	2740	3238	NW	430	No
Bedroom 2	7	2740	3005	SW	451	No
Bedroom 2	7	2740	3835	58	425	Yes
Study	7.	2740	3005	50	425	Yes
Sitting	7	2740	1014	Ni	2251	Yes
Sitting	7	2740	8795	NW	435	No
Sitting	7	2740	855	SW	440	Yes
Sitting	7	2740	2424	NW	442	Yes
Sedroom 1	7	2740	3588	58	412	Yes
Bedroom 1	7	2742	2055	NE	0	No
Bedroom 1	7	2740	2965	NE	2248	Yes
Seh	7	2740	2260	50	427	Yes
Ensults	7	2740	2101	56	418	Yes
Internal wall type						
or to glineaury entire on 13 Jun 2005 using Findfle	del: 5.5.5e	3.35) to A-OF	P001056, U 1	, 35 Dennis	Street, Cakenton, InSIN	1,2196

77C7214E46 Nat	HIDRS Certificate			7 Star Rating as of 13	An X
	Mail type		Area [m]	Bulk insulation	
	Internal Wall - Internal Stud Wall - R2.5F		99.3	Glass fibre batt R2.5 (R2	(5)
2	PRS - Internal Planterboard Stud Wall		161.5		
Floor type			Sub-foor	Added insulation	
Location	Coretraction COSG - CSOG: Slab on	Area [m	ventilation	[Rivatus]	Cove
Garage	Ground Ground	5.6	Enclosed	R1.0	none
Garage	COSG - CSOG: Status on Ground	14.3	Enclosed	R1.0	none
Office	COSG - CSOG: Sab on Ground	11.4	Enclosed	H1.0	Tang
Powder	COSG - CSOG: Seb on Ground	4.1	Enclosed	M1.0	Ties
Femal	COSG - CSOG: Sab on Ground	25.1	Enclosed	R1.0	Time
Fomal	COSG - CSOG: Sleb on Ground	3.4	Enclosed	R1.0	Timo
Parity	COSG - CSOG: Sab on Ground	4.3	Enclosed	R1.0	Timb
Kitch/Din/Living	COSG - CSOG: Seb on Ground	22.1	Enclosed	R1.0	Term
Kitch/Din/Living	COSG - CSOG: Seb on Ground	1.1	Enclosed	PH.0	Time
Klich/Din/Living	COSG - CSOG: Slab on Ground	13.9	Enclosed	R1.0	Time
Kitch/Din/Living	COSG - CSOG: Sab on Ground	3.5	Enclosed	R1.0	Timb
Mear Bedroom 2	COSG - CSOG: Sleb on Ground		Enchosed	H1.0	Ces
Rear Redicors 2	COSG - CSOG: Sab on Ground	2.8	Enclosed	R1.0	Carp
Rear Bedroom 1	COSG - CSOG: Sab on Ground	8.1	Enchaed	R1.0	Ces
Rear Bedroom 1	COSG - CSOG: Sale on Ground	2.7	Enchand	H1.0	Carp
Roar Holwley	COSG - CSOG: Sleb on Ground	1.9	Enclosed	R1.0	Timb
Hear Kilchen	COSG - CSOG: Sleb on Ground	17,4	Enclosed	M1.0	Time
Rear Klühen	COSG - CSOG: Slab on Ground	4.4	Enclosed	R1.0	Time
Rear Bath	COSG - CSOG: Seb on Ground	4	Enclosed	R1.0	Ties
er to glossary; anded on 13 Jun 2020					

Carage		Infloor - Alpha concrete intern Floor		R2.5	No
Garage		Pinterboard		RDD	No
Ceiling type		Construction		Bulk insulation Evalue Imag include edge half values	Reflective 9730
Ensule	InFloor - Alpha concrete Intermediate Floor	0.9	Enclose	R2.5	Ties
troute	InFloor - Alpha concrete Intermediate Floor	3.6	Enclose	1935	Yes
Beth	InFloor - Alpha concrete Intermediate Floor	Ť	Enchas	R2.5	Ties
Bath	InFloor - Alpha concrete	3.0	Enclose	H2.5	Ties
Bedroom 1	InFloor - Alpha concrete Intermediate Floor	18.6	Enchm	H2.5	Timber
Bedroom 1	InFloor - Alpha concrete Intermediate Floor	1.6	Enclose	R2.6	Timber
we	InFloor - Alpha concrete Intermediate Picor	3.6	Enclose	H2.5	Timber
Sitting	Infloor - Alpha concrete Intermediate Floor	5.5	Enchas	R2.5	Timber
Sitting	InFloor - Alpha concrete Intermediate Floor	18.3	Enclose	R2.5	Timber
Study	InFloor - Alpha concrete Intermediate Floor	1.3	Enchm	R2.5	Timber
Study	InFloor - Alpha concrete Intermediate Floor	7.1	Enchas	R2.5	Timber
Bedworn 2	InFloor - Alpha concrete	2.9	Enchrso	R2.5	Timber
Bedroon 2	InProor - Alpha concrete	8	Enchas	R2.5	Timber
Sedmon 3	InFloor - Alpha concrete Intermediate Floor	1.6	Elevates	R2.5	Timber
Bedwon 3	InFloor - Alpha concrete	0.3	Elevated	H2.5	Timber
Bedroom 3	InFloor - Alpha concrete Intermediate Floor	0.6	Enclose	H2.6	Timber
Bedwon 3	InFloor - Alpha concrete	1,1	Enclose	N2.5	Timber
Bedroom 3	InFloor - Alpha concrete	6.7	Enchm	R2.5	Timber
Rear Buth	COSG - CSOG: Sab on Ground	0.9	Enclose	R1.0	Tites

77C7214E46 NatHERS Certificate		7 Star Ratin	g as of 13 Jun
Office	InFloor - Alpha concrete Intermediate Floor	12.5	
Powder	Inflicer - Alpha concrete Intermediate Floor	N2.5	
Formal	InFloor - Alpha concrete Intermediate Floor	12.5	
Fomal	Pasterboard	RS-D	
Parity	InFloor - Alpha concrete Intermediate Floor	12.5	
Kitch/Din/Lving	InFloor - Alpha concrete Intermediate Floor	12.5	
Kitch/DirvLiving	Pletetoard	R2.5	
Kitch/Din/Lving	Plesieboard	16.0	
Kitch/Din/Living	Pleaterboard	R2.5	
Rear Bedroom 2	Plesteboard	REG	
Rear Bedroom 2	Plesteboard	12.5	
Raar Sedroom 1	Pleaterboard	R6.0	
Rear Bedroom 1	Pleatedowd	12.5	
Rear Halwley	Plesieboard	76.0	
Rear Kitchen	Pleaterboard	REG	
Rear Kiluhen	Plesteboard	12.5	
Rear Bath	Plesieboard	56.0	
Rear Bath	Pleaterboard	R2.5	
Bedroom 3	Pleaterboard	RS 0	
Betroon 3	Plesterboard	12.5	
Bedroom 3	Pleaseboard	R2.5	
Bedroom 3	Parteboard	12.5	
Bedroom 2	Plesterboard	16.0	
Bedroom 2	Plesterboard	R2.5	
Study	Passeboard	REG	
Study	Plesterboard	12.5	
Sting	Plantetoard	R6.0	
Sting	Pleateboard	R2.5	
WM	Plesterboard	NE.0	
Bedroom 1	Pleaterboard	R2.5	
Bedroom 1	Plesterboard	RE D	
Bath	Plesieboard	R6.0	









eco. factor Pty. Ltd

SUITE 1, LEVEL 2, 215-219 GEORGE ST., LIVERPOOL 2170, NSW, Australia. P: 1300 326 322 info@ecofactor.com.au www.ecofactor.com.au



PEFORE
TWO DISC.
The Design Solutions
Design Solutions
This drawing is the property of ECCFACTOR PTY LTD
and shall not be used in full of in part
without consent of ECCFACTOR PTY LTD
and shall not be used in full of in part
without consent of ECCFACTOR PTY LTD
and shall not be seen because the seen of ECCFACTOR PTY LTD
and shall not be seen to seen the seen of ECCFACTOR PTY LTD
and shall not be seen to seen the seen of ECCFACTOR PTY LTD

A Seen Without consent of ECCFACTOR PTY LTD

A Seen Without Excellent of ECCFACTOR PTY LTD

A Seen Without Consent of ECCFACTOR PTY LTD

A Seen Without Excellent of ECCFACTOR PTY LTD

A S





BUILDAID CONSULTING SERVICES

DEMOLITION OF EXISTING DWELLING AND CONSTRUCTION OF NEW SEMI - ATTACHED DUAL OCCUPANCY DOUBLE STOREY WITH GRANNY AND STUDIO AT REAR

35 DENNIS STREET LAKEMBA 2195 NSW

DRAWING TITLE UNIT 1 NatHERS SCALE RV DRAWING NO.

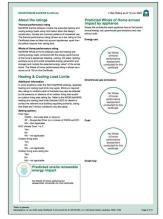
DA PACKAGE

23/06/2025 12:35:31 PM

DA

DA - 24



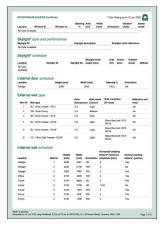








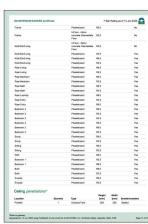




4 4 4 4 4 4 4 4 4 4 4 4 4 4 4 4 4 4 4 4	2740 2740 2740 2740 2740 2740 2740 2740	\$244 6120 2790 4432 2461 3002 2913 3001	SW SE SE NW SE SW	2402 664 0 0 442 437	Yee Yee Yee Yee No	
4 4 4 4 4 4	2740 2740 2740 2740 2740 2740 2740 2740	2790 4432 2461 3002 2913	SE NW NW SE	0 0 642 437	Yes Yes Yes	
4	2740 2740 2740 2740 2740 2740 2740	4432 2461 3002 2913	NW NW SE	0 642 437	Yes Yes	
4	2740 2740 2740 2740 2740	2461 3002 2913	NW SE	442 437	Yes	
	2740 2740 2740 2740	2002 2913	56	437		
	2740 2740 2740	2913			No.	
	2740 2740		SM			
	2740	3001		434	No	
4			NW	456	Yes	
		2993	EM	431	No	
		1796	ME	2921	Yes	
	2740	1893	MW	452	Yes	
	2740	1620	NE	2922	Yes	
- 4	2740	1895	86	434	No	
4	2740	2406	ME	2922	Yes	
	2740	2101	MW	433	Yes	
() (Der			Area	197 84	uik insulation	
	tud that - Ro	2.5F		10 GI	lass fore butt RO.5 (RO.	5)
S - Internal Planter to	and Eled We	a .	16	3.4		
Constructi	99	Are	Sub s (m²) ven	-floor Olation	Added insulation (R-value)	Covering
	il type orad Whit - Internal S S - Internal Plesterto	6 2746 6 2746 6 7746 6 7746 6 2746 6 2746 6 2746 6 2746 6 2746 6 2746 6 2746 6 2746 6 2746 6 2746 7	4 3146 4344 4444 4444 4444 4444 4444 444	2 200 201	1 20 20 35 20	1 100 100 101

SCCWUPBBUM NAME				7 Star Rating as	of 13 Jun 2025
Garage	COSG - CSOG: Slag on Graund	5.0	Enclosed	R1.0	1000
Carage	COSG - CSOG Slab on Ground	14.3	Enclosed	M1.0	none
Office	COSG - CSOG: Sleb on Ground	154	Enclosed	81.0	Timber
Powder	COSG - CSOG: Sies on Ground	4.1	Enclosed	R1.0	Tites
Formal	COSG - CSOG: Sleb on Ground	25.1	Enclosed	M1.0	Timber
Fomal	COSG - CSGG: Slap on Ground	3.4	Enclosed	R1.0	Tinber
Perky	COSG - CSCG: Stap on Ground	4.3	Enriched	167.0	Timber
Kitch/Din/Living	COSG - CSOG: Sleb on Ground	27.1	Enclosed	R1.0	Timber
Kitch/Dir/Living	COSG - CSOG: Stap on Ground	5.5	Enclosed	R1.0	Timber
Kitch/DevLiving	COSG - CSOG: Slab on Ground	10.9	Enclosed	M1.0	Timber
Kitch/Din/Living	COSG - CSOG: Sleb on Ground	5.1	Enclosed	R1.0	Timber
Rear Living	COSG - CSOG: Step on Ground	63	Enclosed	R1.0	Timber
Rear Living	COSG - CSOG: Slab on Ground	2.4	Enclosed	R1.0	Timber
Rear Bedroom	COSG - CSOG: Stas on Ground	6.5	Enclosed	R1.0	Tinter
Rear Bedroom	COSG - CSCG: Slas or Ground	2.5	Enclosed	H1.0	Timber
Rear Dath	COSG - CSOG: Slab on Ground	2.6	Enclosed	R1.0	Titos
Rear Bath	COSO - CSOO: Stap on Ground	0.8	Enclosed	R1.0	Ties
Rear Laundry	COSG - CSOG: Slab on Ground	1.1	Enclosed	R1.0	Tites
Rear Entry	COSG - CSOG: Slab on Ground	0.8	Enclosed	R1.0	Timber
Rear Entry	COSG - CSOG: State on Ground	5.7	Enclosed	R1.0	Timber
Bedroom 3	InFloor - Alpha concrete Intermediate Floor	6.7	Enclosed	R2.5	Timber
Redsom 3	Infrior - Alpha concrete Intermediate Floor	1.1	Enclosed	R2.5	Timber
Bedroom 3	InPloor - Alpha concreta Intermediate Floor	0.6	Enclosed	R2.5	Timber
r to goosary.					

ECCWUPERUM NUHE	IRS Certificate			7 Star Rating as of	3 Jun	2025
Bedtom 3	InFloor - Alpha concrete Intermediate Floor	0.0	Elevate	M R3.5	Te	riber
Bedroom 3	Infloor - Alpha concrete Intermediate Floor	1.6	Elevate	e F2.5	Te	nber
Sedtoon 2	inFloor - Alpha concrete Intermediate Floor	- 10	Encha	nd R3.5	Ye	rber
Bedroon 2	InFloor - Alpha concrete Intermediate Floor	2.9	Encho	ed #2.5	Te	riber
Study	Infloor - Alpha concrete Intermediate Floor	7.1	Enchs	ed R2.5	Te	nber
Study	inFloor - Alpha concrete intermediate Floor	53	Enclos	H 82.5	Te	rber
Siting	InFloor - Alpha concrete Intermediate Floor	18.3	troto	M R2.5	Te	nber
Sitting	Inflicor - Alpha concrete Intermediate Floor	5.5	Enclose	M R0.5	Ye	riber
WR	inFloor - Alpha concrete Intermediate Floor	3.6	Encha	H 82.5	Te	rber
Bedroom 1	Infloor - Alpha concrete Intermediate Floor	1.6	Encha	NO R2.5	Te	roer
Bedroom 1	InFloor - Alpha concrete Intermediate Floor	18.6	Enclos	H 82.5	Te	rber
Run	Infloor - Alpha concrete Intermediate Floor	3.8	Enchra	H R2.5	Ti	e
Beth	infloor - Alphe concrete intermediate Floor		Enchs	NO 82.5	11	
Ensule	inFloor - Alpha concrete intermediate Floor	3.5	Encire	H R2.5	Ti	
Ensule	InFloor - Alpha concrete Intermediate Floor	0.9	Encire	N F2.5	19	**
Celling type		Construction				Refrest
Location		materialitype		Bulk insulation R-value (may include edge bull wal-	-	Materia WISO'
Carage		Plesterboard		RE0		No
Garage		InFloor - Alpha concrete Intern Floor	nediale	82.5		No
Office		InFloor - Alpha concrete train Floor	nedere	R2.5		No
Powder		InFloor - Alpho concrete Intern Floor	nediate	R2.5		No
Fomal		InFloor - Alpha concrete Intern Floor	nediale	R2.5		No
CTI dissan						







SCCWUPSSUM Net	E/RS Certificate	7 Ster Reting as of 13 Jun 2025
Explanatory I	lotes	-
About this report		Non-according seasons (flows) have no organic insising tequirements and
NOTIFIC STORES AND ADDRESS.	or guide for comparing different dwalling theights	are not qually assured. Any queries about the report about the directed in the assessor. If the assessor
National Construction Code.	er not be every allowy registrosts in the or making to every a honer a reasy efficiency	As purity addition spart about the discount in the assessor. Fire assessor is unable to addition spartition or concerns, conspectite AAO specified on the land of the artifluide.
		Disstairer
has people use their home?	profet he heating and cooling energy leads and area. The thermal performance size rather upon the	The NetHENS Certificate formal is structured by the NetHENS Administrator.
		However, the content in the sertificate is entered by the sceneser. It is the manager's responsibility to one Natl-ERS accorded and only are correctly and
foots, rock and oximp(to	pedict the heating and cooling energy back. The making pass information about the home's	follow the Nacifilitis Technical Note to produce a Hartifilitis Centificate.
	peraretion and stronge to animals the horses	The predicted around energy that, and and premisure pas emissions in the Nativities Conflictly are an estimate based on an assessment of the desting's
marginatus.		
The amelianing teets, on	and prenhouse gas emissions of a Nome may a because the assumptions will set plusse, match	
		dealings are likely to perform when position a similar way. Information presented in this report takes on a range of standard assumptions.
have people one their epolisi	nes will very. Everyo efficient human use how man, content on hot days and continue to han.	
Accredited assesse		propertif the report, including analysisms alous accepting behavior, applicant performance, index at impression and local climate.
	Continues, planta use or accompletor flavored	Not all assumptions made by the assessor value the Nath ETES promotives
		software look are presented in this report and further details or data likes may be
software service may	oncesses, and professional development thindy high standards for assessments.	shifted from the assessment
Glossary		
Annual energy lead	he prefered amount of energy separed for leads Australian Fernestrator Resing Council	ng and coming based on abordenic congressy assumptions.
Assessed Four area		year of the Nath-EPS assessment. Note, the man not be considered with the Nath
Celling peretrations	and it for design documents.	
	Exclude the region is proving to the coding of Excludes the use absorbed to the coding with one and coding duch.	initialing descriptio, seria, echanel fare, sarge books, chirmays and flues dinces firmigh the pating \$r witing e.g. seling bins, pendert lights, and heating
Conditioned		re heating and cooling-based on atandard occupancy assumptions. In some
200	counteres had include garages coefficient of performance	
Contam strateurs		date on the market in Australia and how a WEFS (Window Energy Rating
Default windows	Schemid rating	
GIA TOTAL		of white product and whose properties have been derived by statistical method enlargeses for achieved by an air conditioner for a single EAN of electricity agost.
Energy see		
Everyy value	The net used it is outliefy including, lad not limbed to ARCD Housing Provisions Standard).	s, units to the building user, the environment and energy redecine (as defined in)
Entrance dear		software and must not be modeled as a door when opening to a nearmity werder
	contide in a Class 2 building	sear-finings, deary exposed high-last and Lasters above 10 floors
Coposite salegary - size	terrain with no obstructions at a stimber length or, terrain with three abstructions at a stimber length or, scalar and absols, fightly organized local blocks, at	
Expresse salegary - extenden	brisis with restrance, closely expected electronics	to before 10m e.g. subwison housing, hearify requisited numbered areas.
Exposure subgray -	ternio with numerous, drowing spaced obstruction	na mar 10 m e.g. oby and reluctive armon.
Revisional shooting feature	provides whething to the building in the host contail, apper builds.	plane, e.g. exises, verandaño, pergotas, carports, or overfienge-or batteries from
National Construction Conf.		ex, and seigne a disselfusion code. NEOFERS software models NEO Class 1, 2 o
(MOC) Class Red parts haven		Billione can be found at www.abidh.gov.au
Specing percentage	a home that automes a net uses energy value? The proposition personalize or over this impossible.	(and of done or windows that is pact in variables calculations.
Promotering		
	provisional value of "medium" must be modeled, in the found at worse nather's govern	Acceptable provisional values are outlined in the Nath-ERS Tecturinal Nate and ce
Recommended capacity		commended to highlighting achieve the depicted control produces in the core or
		combined with an appropriate air gap and emissivity value, it provides including
Roof window	for No.P-ERS this is highlight an operation wholese	f. n. care be opened), will have a plactic or similar light well if there is an affic spec
	and generally does not have a diffuser.	
Studing between Salar heat pain coefficient	Industrial resistance in participal forces, and who has been a feeting that the state of the control of the con	y walfu, lout excludes easen. Hough a window, loufs descrip transmitted as sent an aleast lest and understandards.
		or between 2 and 1. The lower a stratuer's EMSC. the loss order hand it benombs. Souther reflective tubing (light well) and a diffusion of ceiling lovel.



eco. factor Pty. Ltd

SUITE 1, LEVEL 2, 215-219 GEORGE ST., LIVERPOOL 2170, NSW, Australia. P: 1300 326 322 info@ecofactor.com.au www.ecofactor.com.au



YOU DIG www.byda.com.au Zero Damage - Zero Harm

Design Solutions This drawing is the property of ECO.FACTOR PTYLTD and shall not be used in full or in part and shall not be used in full or in part . Figured dimensions are to take preference over scaled dimensions. - Builder shall be held responsible to varify all dimensionsflewels on site & notify any discrepancy to ECO.FACTOR ITYLTD. - All materials are to be used in accordance with marufacturer's specifications and instructions and to comply with relevant Australian Standards.

THE FOLLOWING STANDAMOUNT EN STEERING TO IN THE CRAMPING.

A SIZE OF ASSIS IN BLADGOS - SELECTIVE AND PERSON.

A SIZE OF ASSIS IN BLADGOS - SELECTIVE AND PERSON.

A SIZE OF ASSIS IN BLADGOS - SELECTIVE AND PERSON.

A SIZE OF A eco.factor





BUILDAID CONSULTING SERVICES

DEMOLITION OF EXISTING DWELLING AND CONSTRUCTION OF NEW SEMI - ATTACHED DUAL OCCUPANCY DOUBLE STOREY WITH GRANNY AND STUDIO AT REAR

35 DENNIS STREET LAKEMBA 2195 NSW

DA PACKAGE

DRAWINGTITLE UNIT 2 NatHERS SCALE 23/06/2025 12:35:32 PM RV

DA DA -

DRAWING NO.